

HOLLINGSWORTH PARK
—VERDAE—

Bella Grove



BELLA GROVE
HOLLINGSWORTH PARK
—VERDAE—

NEIGHBORHOOD & DESIGN GUIDELINES
Document Date: May 2020



Homes within Hollingsworth Park are to be built according to a minimum standard of Energy Star or a maximum standard of LEED home certification.



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Disclaimer:

The residential design guidelines, plans and features described and depicted herein are based upon current development plans, which are subject to change without notice.

The Hollingsworth Park Architectural Control Committee (HPACC) maintains the right to reproduce these guidelines.

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HOLLINGSWORTH PARK

—VERDAE—

Bella Grove

ABOUT HOLLINGSWORTH PARK

Hollingsworth Park, a 300-acre community within the Verdae Masterplan, expresses regional, vernacular styles of architecture and neighborhood planning. The structure of each neighborhood is characteristically modeled after traditional small towns generally seen as being the most desirable and livable communities in the U.S. where streets co-mingle with landscape elements, public parks, and urban spaces.

Planning principles that delineate the vision for development include parks, recreation features, open space, trails, neighborhood retail, along with architectural and planning controls that ensure the orderly development of the property.

The Hollingsworth Park community contains a full mix of homes of varying sizes, types, and styles; parks, and recreation facilities – all within a 10-minute walking distance of one another, or about ½ mile. Each neighborhood within Hollingsworth Park has its own defined guidelines to ensure the consistent application of the aesthetics of older towns. Houses feature traditional materials such as brick, stone and wood. Design elements like fences and front porches visually unify the community.

The street system within favors an urban design, having homes set close to the street's edge. Service alleys and side driveways provide access to garages and space for necessities, such as trash cans. Neighborhoods are connected by sidewalks, bike paths and trails, fostering an active lifestyle.



VERDAE MASTER PLAN/ HOLLINGSWORTH PARK
NEIGHBORHOOD LOCATION MAP

BELLA GROVE - NEIGHBORHOOD SITE PLAN



Preliminary Site Plan 2017

*Future commercial site details are subject to change.

COMMUNITY OVERVIEW

Bella Grove is a traditional neighborhood development located within Hollingsworth Park. A single-level living community, homes in Bella Grove are a maximum height of 1.5 stories and have the main living space on one level, with optional bonus/office/bedrooms upstairs.

Home plans for this neighborhood are either pre-approved by the Hollingsworth Park Architectural Control Committee (HPACC) or buyers may work with a builder from the Approved Builder Group to design a custom home. Upon reservation of a pre-approved home plan, owners are free to customize the interior floor plan with the associated approved builder, **as long as changes do not alter the architectural design of the plan's front, rear and side elevations.** If changes to the front, rear or side elevations are made, the home plan is treated as a custom design and must be submitted for full review and approval by the HPACC. Pre-approved plans will require final written HPACC approval prior to construction, however the review will be streamlined due to the pre-approval process. Home construction for any lot must start within one (1) year from lot closing, unless the Developer has provided an approved extension in writing.

All pre-approved home plans are reviewed periodically by the HPACC and may be retired without notice. Additionally, new pre-approved plans—in keeping with defined design guidelines for Bella Grove—may be incorporated during the neighborhood's construction phase.

GENERAL GUIDELINES

1. **HOME PLAN AND COLOR SELECTIONS**

- A. An identical home plan cannot be constructed within two lots (to the left or right) or directly across the street from an approved home site. Plan selections will be approved on a first-come basis and may be reserved as early as the time of lot contract. **(See Plan Reservation Form – Page 30)**
- B. **Color selections cannot be duplicated within one lot (to the left or right) or directly across the street from an approved home site. Color selections will be approved on a first-come basis and may be submitted for review and approval as early as the time of Plan Reservation or Plan Submittal.** (See Color Palette Submittal Form – Page 31)

2. **STREETScape**

- A. The streetscape shall be well-balanced with residences that consistently appear to be 1.5-story homes. The minimum height of the roof peak shall be 26'-4". The maximum height of the roof peak shall be 32'-0". Considering the average lot width of 50', the suggested width of the main body of the home shall be between 32' and 40'. The architectural styles of all home plans shall be harmonious and complimentary to one another.
- B. General setback details are: The setback for the main body of each home is 10' from the street. Open porches, stoops, or similar elements may encroach the front yard, but must be at least 5' from the property line near the street. The minimum rear yard setback shall be 10'. The minimum side yard setbacks shall be 5'. Please note, the City of Greenville requires additional setback criteria for corner lots.
- C. Front walks are the walkways between the main entry door of the home and the street. Front walks are constructed of the same material as the public sidewalk, are to be at least 36" inches wide, are oriented perpendicular to the main body of the house, shall intersect the public sidewalk and continue to the curb. Front walks are installed by the Builder. Public sidewalks have been installed by the Developer.

- D. There are no installed mailboxes at the entry of homes. The US Postal Service has deemed Bella Grove a Central Mailbox delivery area. Each residence will be assigned a mailbox at a central mailbox site within Bella Grove for US Mail and package delivery by the designated property management company.
- E. Garages are rear/alley facing except for the specified Lots 11, 31, 57, 58, 81, and 82 which shall be side facing. All Lots shall have the Driveway/Garage located on the “high” side of the Alley. **(See Figure 10 on Page 23)**
- F. Corner lots and lots that abut pocket parks within Bella Grove are considered unique properties and must adhere to additional guidelines that relate to materials, design of side elevation, screening of private zones, and landscaping.
- G. Bella Grove follows a tree planting plan that has been reviewed and approved by the City of Greenville. This plan includes specific tree species, size requirements and mandated location for each tree. Corner lots will have 1 to 3 additional trees on the street-side of the lot. Installation of trees has been completed by the developer; therefore, it’s important to note that trees cannot be relocated and must be protected during construction. Builders will be held responsible for damage or removal of trees during construction. The (HOA) will provide routine maintenance and manage necessary replacement for any tree that is required by the tree planting plan. **(See Figure 6 for Required Tree Protection on Page 18)**
- H. Each Owner is required to install an irrigation system within their property lines during construction that supports the home’s landscaping plan. Irrigation must be designed to support the landscaping plan, and it must also provide water to the grass and trees planted between the public sidewalk and curb in front of the home by misting over the sidewalk. If on a corner lot, the irrigation system must also supply water to the grass and trees between the sidewalk and curb that are planted along the street-side of the lot in the same manner. Following occupancy, each Owner is responsible for the repair and maintenance of their irrigation system. **IMPORTANT:** Irrigation zones providing water to public areas that border Owner’s property are to run before 5am in moderate to warm temperatures and turned off completely during colder temperatures to avoid freezing/unsafe conditions on public sidewalks.
- I. Maintenance-free lawn service is provided through the property management company and paid by monthly (HOA) dues. Maintenance service includes front, back and sides of home except for any fenced or restricted courtyard area and any additional plantings that a homeowner adds. Maintenance also includes common areas, pocket parks and lighting throughout the neighborhood.
- J. Each Owner is responsible for maintaining their Lot/Home in a neat and well-kept manner. The HOA shall be responsible for enforcement of maintenance standards.

3. **DETAILS AND FINISHES**

- A. Architectural details and exterior finish material options are defined per pre-approved or custom home plan. Final material selections must be noted within the builder’s Construction Plan Submittal package. **(See New Construction Plan Submittal Checklist – Page 27)**
- B. Windows of Dormers (real or fake) must be dressed with appropriate interior window treatments such as blinds, curtains, shutters, etc. Painting the inside face of glass is not acceptable.
- C. Awnings, canopies, and other exterior window treatments must be submitted to the HPACC for review and approval.

4. **ALLEYS**

- A. Alleys within Bella Grove are two-way, and there are no curbs on alley streets.
- B. Parallel parking is not permitted within alleys.

5. SITE ELEMENTS AND LIGHTING

- A. All miscellaneous types of equipment, such as—but not limited to—condensers, HVAC units, electrical and other meters, irrigation equipment, satellite dishes, antennas, solar panels, recycle and garbage cans, propane tanks and grills, and play equipment may not be located in a front yard setback, and shall be located in such a way that is not visible from streets with curbing. A hedgerow, low fence enclosure or other landscape means of hiding miscellaneous equipment is required. All HVAC units shall be located within 25' of the rear of the house and far enough of the property line to allow space for appropriate screening or as approved by the HPACC. Low profile HVAC units are no longer allowed. Site elements and buffer landscaping shall not obstruct proper storm drainage patterns.
- B. Acceptable exterior lighting shall be wall sconces, pendant fixtures and recessed lighting. Spotlights, motion activated or otherwise, are not allowed. Landscape and building up lighting must be screened such that the light source itself is not visible from the street or adjacent neighboring lot(s), nor are the lights shining onto adjacent lots. Landscape lighting shall only be illuminated from dusk to dawn.
- C. Portable and installed basketball hoops are not allowed.
- D. Installed or A-frame play structures are not allowed.
- E. Trash and equipment enclosures shall bear an architectural style similar to the house. If trash cans are to be stored outside, they must be kept within a fence enclosure so as not to be seen from the alley or neighboring homes.

6. LANDSCAPING

- A. A landscaping layout for front, sides and rear yard are defined per pre-approved or custom home plans. Any changes to the pre-approved landscaping layout must be submitted to the HPACC for approval. **(See Landscape Guidelines on Pages 16 & 17 and New Construction Plan Submittal Checklist – Page 27)**
- B. As defined in **2.H on Page 6**, an irrigation system is required to be installed during the construction of each home.
- C. Following occupancy, additional landscaping or hardscaping site work must be submitted by the owner to the HPACC for approval prior to the commencement of work. **(See Residential Change Form – Page 33)**
- D. All lawns shall be planted with Bermuda grass.
- E. All top dress covering material shall be (dark brown) double ground hardwood mulch.

7. FENCES AND PERMANENT OUTDOOR STRUCTURES

FENCE refers to any barrier, lattice work, screen, wall, hedge, shrub or living plant material acting as a physical and/or visual barrier. Retaining walls are not considered fences. Outdoor structures are freestanding from the house and include arbors, fireplaces, outdoor kitchens, etc. Planned structures are to be submitted to the HPACC for approval prior to the commencement of work.

- A. Styles and design fabrications of fences shall be compatible with the home style and not exceed a height of 6' feet.
- B. Fencing material options: wood, wrought iron, black anodized aluminum, powder-coated tubular steel, brick, decorative PVC, iron, stone, brick with iron or aluminum, stone with iron or aluminum, or living fence material (plants). Electronic fencing systems are also allowed. If brick or stone masonry walls are used, they must be finished with appropriate coping stone or other masonry coping treatment, regardless of whether black iron or aluminum fencing is imbedded. Wooden or iron fences may be painted – primer plus four (4) coats of HPACC approved gloss or semi-gloss enamel color.
- C. Prohibited materials: vinyl, chain link, solid PVC or stucco coated concrete block walls. No fence can be installed closer to the street than the front edge of house.

NEW CONSTRUCTION & ARCHITECTURAL GUIDELINES

The following detail serves as a comprehensive guide for home construction and new plan development. It also provides a guide for future home modification and renovation. **NOTE: Some of the information in this section is redundant to the content outlined in the General Guidelines Overview provided on Pages 5-7.**

1. HOME BUILDING PROCESS

- A. To create an architecturally cohesive Development and continue the level of high-quality neighborhoods within Verdae, the Developer has selected a team of experienced builders to construct homes within the Bella Grove Community. Through an extensive vetting process, the HPACC reviewed numerous plan submittals from the team to identify those that best fit the traditional architectural style for the neighborhood. Home plans and pricing are subject to change without notice. The outline below details the process for selecting a lot and associated Builder/home plan for construction.
- 1) Purchaser selects lot and proceeds to contract with the Developer. Purchaser may complete a Plan Reservation Form with the Developer at the time of contract or they may submit the Plan Reservation Form at a later date of their choosing. Note: Garage/Driveway locations are predetermined for each lot and may affect home plan orientation. **(See Figure 10 on Page 23).**
 - 2) Purchaser may meet with Builder(s) to review pre-approved floor plan options and make any upgrades, changes, etc. that do not affect the front, rear or side elevations. The Purchaser may also work with a builder from the Approved Builder Team to create a custom home design.
 - 3) Developer will review Plan Reservation Form and provide confirmation of approval in writing to the Purchaser and Builder. Review/Approval process ensures that an identical home plan cannot be constructed within two lots (to the left or right) or directly across the street from an approved home site. The Plan Reservation Form also notes if a Purchaser has decided to build a custom home design.
 - 4) Once a home site is completely approved, Builder finalizes home building plan with Purchaser and delivers Construction Submittal Package to the HPACC for final approval.
 - 5) Upon approval from the HPACC, Builder writes construction contract with Purchaser and forwards a copy to Developer.
 - 6) Lot Contract and Construction Contract along with Builder plans are delivered to Lender
 - 7) Lender schedules appraisal: If Lender approves financing, closing date can be scheduled, and Builder can apply for permit. Once permit is received by Builder, Builder can prepare job site for construction, including required soil and erosion measures.
 - 8) Construction Rules and Regulations:
 - a. Stipulated construction hours are followed by all approved building teams:
Monday – Friday 7am-7pm
Saturday 8am-4pm
Sunday 1pm-4pm
No Construction Days include: New Year’s Day, Easter, Memorial Day, Independence Day, Labor Day, Thanksgiving Day, Christmas Eve and Christmas Day.
 - b. Contractor vehicles shall not block any road or alley.
 - c. Contractors may not use area outside of the purchased lot for construction, building, and/or landscaping materials—without permission in writing from Owner.
 - d. The location for (job toilet) facilities shall be on the rear alley except for lots 82 and 57.
 - e. The location for the construction dumpster shall be on the rear alley, except for lots 82 and 57. They must be emptied before filling to capacity and every Friday.

- f. Contractors shall be held liable for any and all damage to completed or under construction lots, including all common area features, damaged trees, utilities, curb and gutter, sidewalks and roads.

2. **BUILDING SITING CRITERIA**

A. Building Heights and Widths

- 1) All homes must be or appear to be 1.5 stories in height.
- 2) The minimum height of the roof peak for a home shall be 26'-4".
- 3) The maximum height of the roof peak for a home shall be 32'-0".
- 4) Minimum floor to ceiling height for the first floor of a home is 10'-0".
- 5) Maximum floor-to-floor height is 12'-0".
- 6) The width of the Main Body is between 32' feet and 40' feet.

B. Principal Street Elevation

Main Living Floor Level should be a minimum of 12" above the highest point on the Lot. This will be reviewed on a case by case basis due to existing grade conditions.

C. Drainage and Stormwater Management

The Builder/Owner of a lot is responsible for submitting a drainage plan to HPACC (prior to home construction) that proves there will be no stormwater impact to the adjacent lot(s). All lots within Bella Grove were originally mass graded in accordance with the Stormwater Masterplan that has been approved by the City of Greenville. When the established slopes and existing grades are modified by the Builder/Owner during their construction, it is their responsibility to address the modified lot grades and/or changes to make sure alterations are in compliance with the overall Stormwater Masterplan. All houses will have gutters and downspouts. The downspouts will be piped to the front or the rear of the lots to discharge to the front public right-of-way or the rear alley without impacting adjacent property owners including the use of underground storm detention systems and/or retaining walls. Should there be a runoff or drainage issue of any kind, the responsible Builder/Owner, as deemed by the HPACC, will be required to correct the problem immediately. **(Email HPACC@verdae.com to Request the Digital File – Stormwater Masterplan and/or Sample Drainage Plan)**

D. Alley or Rear Elevation

Garage Floor Level should be at the minimum positive-drainage elevation necessary to achieve positive drainage away from the lot side and measured from outside edge of garage slab to alley curb in accordance with applicable building codes and proper construction practices. The finish floor elevation of the house can be 20 inches above the garage elevation, consisting of two 8 inch steps and a 4 inch step into the house at the door. Garage floors can then slope at 1/8 to 1/4 inch per foot within the Garage to the driveway.

E. Lot Slope Consideration

Natural grade slopes may be as much as 5% from Alley to Street or from Street to Alley on any given lot. A brick or stone retaining wall is permissible as required and approved by the HPACC. Such wall(s) shall be constructed and maintained by the property owner(s) and shall consist of a common bond (fifth course headers), and properly detailed with stone or brick coping. The outside face (public face) of such wall(s) shall be located 12" inside the property line at the required landscape buffer. Lot drainage shall not be affected by the placement of walls.

3. SETBACK CRITERIA

- A. The front yard setback determines the closest distance to the street that the Main Body may be placed. The front yard setback shall not exceed 10'-0".
- B. Encroachments into the front yard may be open porches, stoops, or similar elements. Open front porches shall be located not closer than 5'-0" from the front property line.
- C. Minimum side yard setbacks shall be 5'-0". The side yard setback requirements for structures may also be impacted by the clear distance separation required to structures or improvements on adjacent lots.
- D. The City of Greenville requires greater side setbacks for corner lots.
- E. Minimum rear yard setback shall be 10'-0".
- F. Roof eaves: A 6'-0" separation is required between architectural projections/overhangs measured from the outside of fascia.
- G. The minimum separation between buildings shall be 10'-0".

4. ARCHITECTURAL STYLE AND VOLUME MASSING

- A. The main house and accessory structures shall be of the same architectural style within any given lot.
- B. Add-on Elements to the Main Body of the house, such as bedroom wings, garages, porches, etc. are areas of smaller mass than that of the Main Body and typically have a roof pitch independent from that of the Main Body although consistent with the architectural style of the Main Body. Add-on elements occur in many architectural styles. The Main Body roof line does not run continuously over the add-on forms, nor do their roof pitches ever exceed the pitch of the Main Body.

5. SETBACK ELEMENTS AND SITE ELEMENTS

- A. Bay windows, oriels, or chimneys are not permitted to encroach into front or side-yard setbacks.
- B. All miscellaneous types of equipment, such as condensers, electrical and other meters, irrigation equipment, shall be located in such a way that is not visible from streets. A hedgerow, low fence enclosure or other landscape means of hiding is required. All HVAC units shall be located within 25' of the rear of the house and far enough off of the property line to allow space for appropriate screening or as approved by the HPACC. Site elements and buffer landscaping shall not obstruct proper storm drainage patterns.

6. CONSTRUCTION DETAILS AND FINISHES

- A. All homes to be on a raised slab foundation, unless a crawl space is deemed unfeasible by the HPACC.
- B. Architectural details and exterior finish materials used on the Main Body of the house are to be identical in terms of consistency of use and application for all elevations of the building. If a material is to be used on the front elevation only and not continued down the entire side elevation it must be turned back a minimum of 6'-0" on the side elevation.
- C. Materials and/or finishes may change for Add-On Elements; dormer or gable accent elements; or appendages to the Main Body so long as they are consistent with the architectural style. Material options are defined per pre-approved or custom home plan.
- D. Architectural details and exterior finish materials used on the Main Body of the house may be simplified for Add-On Elements on side and rear elevations only. The front street elevation must be consistent with that of the Main Body.
- E. Chimneys and fireplace flue enclosures shall be made of non-combustible materials. Siding materials are not permitted as an exterior finish.
- F. A corner lot shall have continuous screening of private zones for 60% of its length by an undulating building elevation, wrap-around porch, a garage, fencing, or fencing with landscaping. Long, blank, featureless walls are not permitted.

- G. Vinyl and aluminum siding are not permitted.
- H. Traditional Board & Batten siding is allowed; however, it must be installed using historic construction methods, and be made of cementitious material. **(See Figure 9 on Page 22)**
- I. Moldings such as water tables, stringcourses, quoins, and facings such as brick, stucco, and stone must be contiguous on all elevations on the Main Body and Add-on structures.
- J. Exposed foundation walls must be finished with brick. Natural stone in a stacked stone pattern (instead of brick) may be considered by the HPACC only if a mockup panel with the stone is erected on site for review. The HPACC reserves the right to reject the stone or the stacked stone pattern at its sole discretion for any reason.
- K. Band boards providing a transition and articulating the separation of the foundation and siding should be considered as they are a traditional architectural detail.

7. **ROOF, ROOF VENTILATION AND TRIM**

- A. Architectural shingles are the preferred material for roofs; however, other materials that are in keeping with the home design may be submitted for review/approval. Metal roofs are not permitted on the main body of the home.
- B. Proper detailing and dimensioning, and specification of cornices, fascias, dentils or other decoration, overhangs, etc. must occur so as to be consistent with the proper spirit of the architectural style represented.
- C. All roof vents shall be of the following types:
 - a. Off-ridge vents when located on rear lot side of ridge or side lot behind front elevation zone
 - b. Continuous ridge vents
 - c. Gable end vents
- D. Gable end vents that are not functional must appear to be so.
- E. Perforated aluminum or vinyl soffit vents are not permitted.
- F. Fascias: 2-step (piece) minimum. **(See Figure 7a and 7b on Pages 19 & 20)**
- G. Cornice returns shall be required on all homes consistent with the style. At a minimum, a Traditional Gable Return shall be required. **(See Figure 8 on Page 21)**

8. **PORCHES AND BALCONIES**

- A. Front porches are to be open. Screened or enclosed front porches are not permitted.
- B. Minimum porch depth and width shall be no less than 6'-6". The maximum porch depth shall not exceed 12'-0".

9. **WINDOWS, DOORS AND OPENINGS**

- A. All windows shall be of a type (casement, double hung, etc.), size, proportion, lite-count and arrangement as defined for each architectural style.
- B. All homes must have a minimum of SDL (simulated divided lite windows) with exterior Muntins on the elevations fronting a street and side elevations open to a pocket park.
- C. Muntins shall be 5/8" to 7/8" wide.
- D. Clear glass or clear low-emissive glass shall be used in all windows and doors. Clear glass shall be standard for all glazed openings visible from a street, public way, or park. Stained glass is allowable in special windows and doors on a case by case basis. Colored, tinted, or reflective glass is not permitted.
- E. Window type and glazing (number of lites) criteria must be met for all architectural styles for each floor of the house. Patterned glass or frosted glass shall be permitted only in areas of the house which are not visible from adjacent streets and alleys.
- F. Openings, shapes and all fenestration will be consistent with the style, proportion, and scale of the architecture.

10. SHUTTERS AND WINDOW TREATMENTS

- A. Shutter heights shall be equal to the window sash height, or door frame height for doors. Each flanking shutter shall be one-half the full width of the window or door, so that the shutters can completely cover the window or door when in a closed position.
- B. All shutters shall be installed operable or appear to be operable.
- C. Louvered shutters must be installed so as to shed water away from the house when shutters are in “closed” position.
- D. Awnings, canopies, other window treatments must be submitted to the HPACC for review/approval.

11. DORMERS

- A. All front elevations require a dormer or window treatment on the top half story of the structure. Dormers/Window (real or fake) must have appropriate interior window treatments such as blinds, curtains, shutters, etc. Painting the inside face of the glass is not acceptable.
- B. Dormer widths are defined by the window width plus the required corner casing.
- C. Dormers are to match the architectural style of the house and to have a minimum 2 step fascia.

12. GARAGE

- A. All Garage doors shall be rear/alley facing with the exception of Lots 11, 31, 57, 58, 81 and 82, which shall be side facing.
- B. All Garage doors shall have a minimum height of 8'-0”.
- C. All Lots shall have the Driveway/ Garage located on the “high” side of the Alley. **(See Figure 10 on Page 23)**
- D. Lot 82 shall have a driveway entering from the road, not the alley, and be located as shown in Figure 10.

13. SIDEWALKS, FRONT WALKWAYS AND DRIVEWAYS

- A. Public sidewalks have been installed by the Developer prior to home construction. The builder is responsible for damage to sidewalks and curbing during home construction.
- B. Front walks are the walkways between the main entry doors and the public sidewalks. Material must be consistent with the sidewalk.
- C. Front walks are to be at least 36” inches wide, are oriented perpendicular to the main body of the house and shall intersect the public sidewalk. The front walk shall continue straight beyond the sidewalk to the curb.
- D. Driveways are to be concrete.

14. ANCILLARY OBJECTS

- A. Trash and equipment enclosures will bear an architectural style and character as that of the houses in the neighborhood. If trash cans are to be stored outside, they must be kept within an enclosure so as not to be seen from the Alley or neighboring homes.

15. FENCES AND PERMANENT OUTDOOR STRUCTURES

- A. Fencing shall not create a hazard to pedestrian or vehicular traffic.
- B. Fencing is an architectural element that may define outdoor spaces, borders, and provide a sense of privacy. Rear yard fences shall not exceed 6’ feet in height.
- C. Styles and design fabrications of fences shall be compatible with the house style.

- D. Fences may be composed of wood, wrought iron, black anodized aluminum, powder-coated tubular steel, brick, decorative iron, stone, brick with iron or aluminum, stone with iron or aluminum, or living fence material (plants). Electronic fencing systems are also allowed.
- E. Vinyl fencing and chain link fencing are not permitted. Decorative PVC fencing may be allowed but no solid PVC fencing.
- F. If brick or stone masonry walls are used, they must be finished with appropriate coping stone or other masonry coping treatment, regardless of whether black iron or aluminum fencing is imbedded.
- G. Wooden or iron fences may be painted - primer plus four (4) coats gloss or semi-gloss enamel. Fence color must be approved by the HPACC.
- H. Stucco coated concrete block walls are not permitted.

16. LANDSCAPE PLAN FOR NEW CONSTRUCTION

- A. A pre-approved landscaping plan for front, sides and rear yards is included with each pre-approved home plan. Changes or additions to the approved plan (including fencing or other hardscaping) must be included with the Construction Plan Submittal package. All custom home designs must include a landscape plan with the final submittal package. **(See Guidelines on Pages 16 & 17)**
- B. All lawns shall be planted with Bermuda grass. During new construction, the landscaping plan must include the installation of Bermuda grass between the sidewalk and curb as well.
- C. All top layer covering material shall be (brown) double ground hardwood mulch.
- D. Bella Grove follows a tree planting plan that has been reviewed and approved by the City of Greenville. This plan includes specific tree species, size requirements and mandated location for each tree. Corner lots will have 1 to 3 additional trees on the street-side of the lot. Installation of trees has been completed by the developer; therefore, it's important to note that trees cannot be relocated and must be protected during construction. Builders will be held responsible for damage or removal of trees during construction. The (HOA) will provide routine maintenance and manage necessary replacement for any tree that is required by the tree planting plan. **(See Figure 6 for Required Tree Protection on Page 18)**
- E. An irrigation system is required to be installed within the Owner's property lines during the construction of each home. Irrigation must be designed to support the landscaping plan, and it must also provide water to the grass and trees planted between the public sidewalk and curb in front of the home by misting water over the sidewalk. If on a corner lot, the irrigation system must also supply water to the grass and trees between the sidewalk and curb that are planted along the street-side of the lot in the same manner. Following occupancy, each Owner is responsible for the repair and maintenance of their irrigation system. **(See Irrigation Guidelines on Page 17)**
IMPORTANT: Irrigation zones providing water to public areas that border Owner's property are to run before 5am in moderate to warm temperatures, and turned off completely during colder temperatures to avoid freezing/unsafe conditions on public sidewalks.
- F. The builder is responsible for damage to installed trees during construction.

17. COLOR SELECTIONS

- A. Paint color shall be selected by the Homeowners. Color selection, including the body, trim and any accent colors must be submitted to the HPACC for approval.
- B. **Color selections cannot be duplicated within one lot (to the left or right) or directly across the street from an approved home site. Color selections will be approved on a first-come basis and may be submitted for review and approval as early as the time of Plan Reservation. (See Color Palette Submittal Form – Page 31)**

18. **LIGHTING**

- A. Acceptable exterior lighting shall be wall sconces, pendant fixtures and recessed lighting. Spotlights, motion activated or otherwise, will not be allowed. Landscape and building up lighting must be screened such that the light source itself is not visible from the street or adjacent neighboring lot(s), nor are the lights shining onto adjacent lots. Landscape lighting shall only be illuminated from dusk to dawn.

SCHEDULE OF FEES

NEW CONSTRUCTION:

Design Review	\$350
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IMPROVEMENTS (Following Initial Occupancy):

All Exterior non-structural including painting and landscaping changes	No Fee
Minimal structural change with a construction cost of < \$10,000	\$50
Structural change with a construction cost > \$10,000	\$200
Appeal of HPACC decision	\$150

CONSTRUCTION COMPLIANCE

In order to enforce construction guidelines, it is necessary to create a mechanism to assure compliance. The HPACC will have wide latitude in interpreting the significance of each offense, but may rely on the following penalty structure in the event of an infraction.

SCHEDULE OF FINES

The following is a schedule of fines, which may be imposed on a daily basis. Fines are legally assessable and collectable. Liens may be filed and enforced. Fine amounts are subject to change at the sole discretion of the HPACC. Fines may be issued at the one-day fee with no warning; reasonable time for correction will then be allowed before daily fines are imposed.

No Dumpster	\$ 50.00
Burning on Site	\$ 200.00
Littered Site	\$ 100.00
Inadequate Erosion Control*	\$ 200.00
Non-compliance in Location of Temporary Sanitation (job toilet)	\$ 200.00
Non-compliance in Location of Dumpster	\$ 200.00
Damage to Curb, Sidewalks or Rights of Way	\$ 200.00
Parking on Adjacent Property without Written Permission from Owner	\$ 200.00
Building Materials or Equipment on Adjacent Property without the Written Permission of Owner	\$ 200.00
Non-conforming Sign on Property	\$ 200.00
Damage to Trees, Vegetation or Natural Areas	\$ 200.00
Unauthorized Removal or Destruction of Trees	\$ 500.00
Unauthorized Plan Change	\$ 500.00
Soil/Erosion and Stormwater Management Violation	\$100 to \$ 500.00
Non-compliance with HPACC Guidelines	\$100 to \$ 500.00
Incomplete or Non-complying Landscaping	\$ 200.00
Delay in Construction without Approved Extension from Developer (Beyond 1 Year from Lot Closing)	\$ 200.00/mo.

*The HPACC reserves the right to direct the installation of Erosion Control measures, including silt fence, at building/owner expense, including any and all fines and fees levied by any municipality (city, county or state), if such measures are not properly installed and maintained. For silt fence installation, the cost shall be at least \$200.00 plus \$2.00 per lineal foot of fence installed. Failure to control mud on roadways is grounds for fines as may be determined by the HPACC.

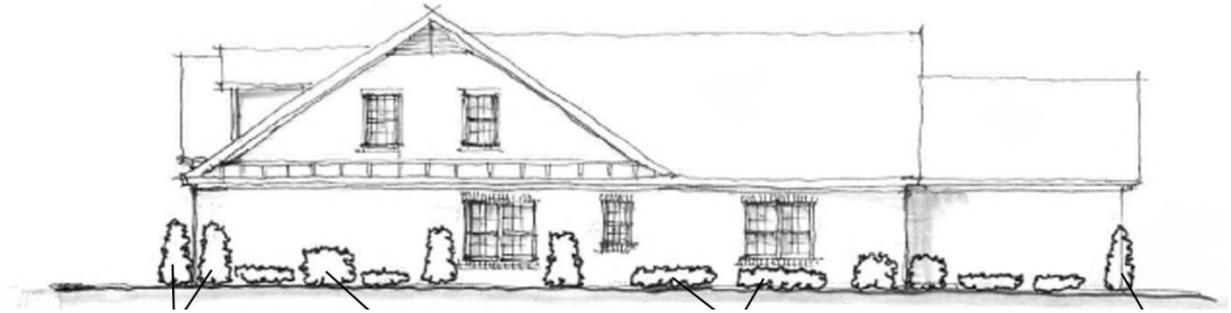
Bella Grove has a defined signage program. One sales sign (meeting defined specifications) is allowed on the property during the sales and construction period. No other signage is allowed during or after construction. Please request a copy of the signage program policy by emailing askverdae@verdae.com.



Front Landscaping Guidelines

Fig. 5a

- Foundation plantings are to be layered to the extent possible (Background, mid-ground, foreground).
- 75% of the foundation plantings must be evergreen.
- Plant material located on the corners of the house are to be upright evergreen plants. Plants species will be sufficient in growth habit to provide visual breakup of the house corner and provide visual screening of the side yard.
- Foundation plantings species shall be grouped or in continuous masses as indicated on the rendering.
- Plantings will not be singular or spotty, plantings will be cohesive and uniform.
- Plant material height at maturity will not exceed the height of the ground floor windowsills.
- Corner plantings to be minimum 15 gallon or equivalent field dug plant material.
- Foundation plantings against the house (background) to be a minimum of 7 gallon in size at installation.
- All other plantings are to be a minimum of 3 gallon in size at installation.
- Ground cover will be a minimum of 4" pots at installation.
- All grassing to be Bermuda sod.
- Mulch shall be (dark brown) double ground hardwood mulch.
- Small ornamental trees and annual color are encouraged, where applicable.



Side Landscaping Guidelines (Non-Corner Lot) Fig. 5b

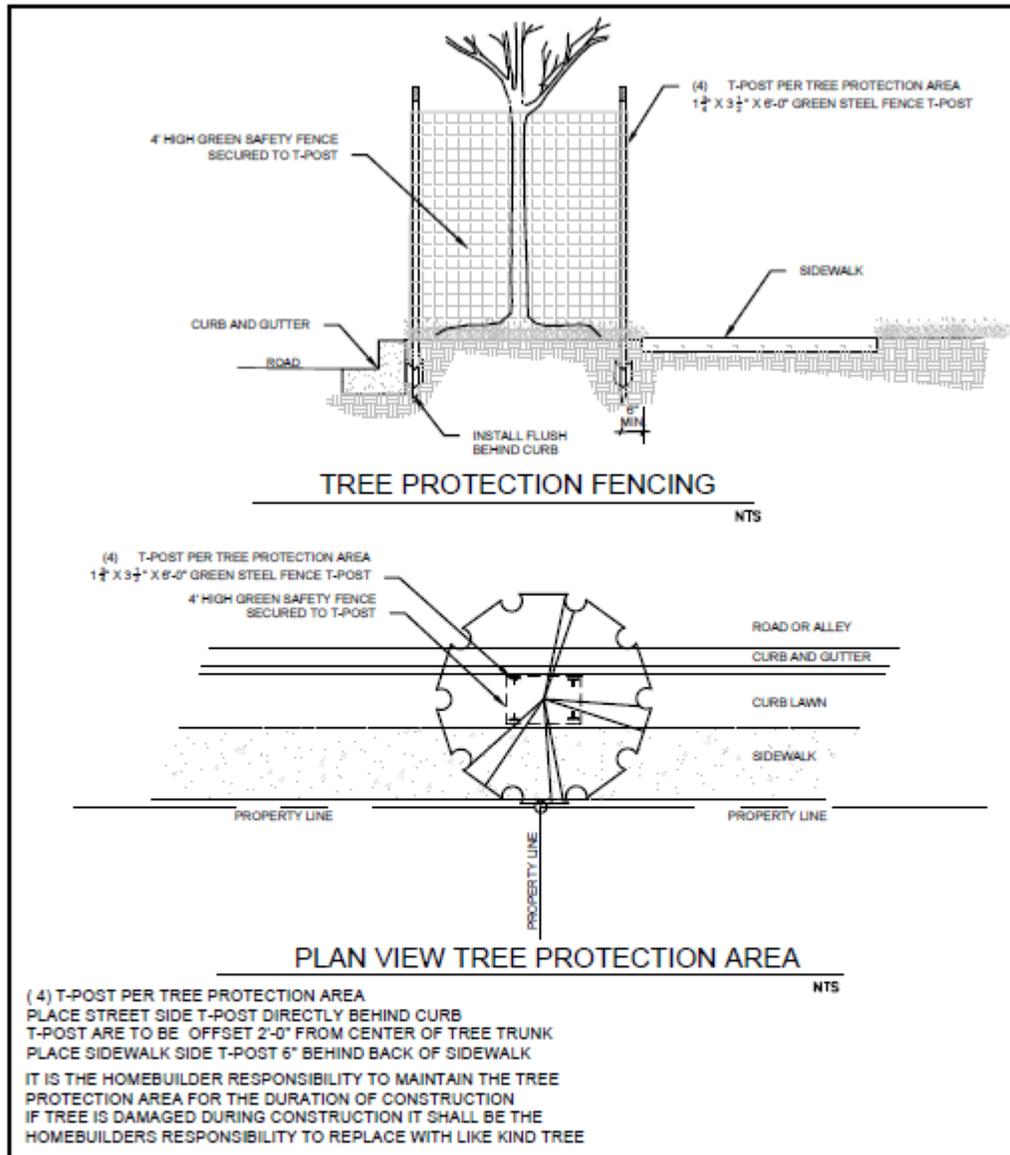
- Due to limited width of the side yard, foundation plant material is required to be installed for the first (front) 45 linear feet.
- Plantings beyond the first 45 linear feet is builders/homeowner's choice.
- Required plant material is to be evergreen shrubs.
- Plants will be grouped or continuous masses.
- Plant material is to provide visual separation of the side yards and mechanical units.
- Plant material to be a minimum of 3 gallon in size at installation.
- **NOTE Side Landscaping Plan for Corner Lot:** Corner lots shall use the pre-approved landscape plan for the associated house, or in the case of custom homes, submit the landscape plan for HPACC approval.

Irrigation Guidelines (Non-Corner Lot)

- Irrigation system must be installed within the Owner's property to service landscaping plan and also the area between the public sidewalk and curb by misting over the sidewalk.
- Irrigation serves all landscape plant material within property—including but not limited to trees, shrubs, groundcover, turf and annual/perennial color are to be irrigated.
- Sod and trees within the sidewalk and curb of home in front or side of home must be irrigated by homeowner's system. Irrigation heads/equipment shall not be installed outside the Owner's property.
- Sod areas are to be irrigated with spray or mist heads.
- Shrub and ground cover can be irrigated with drip or micro mist heads.

NOTE Irrigation Plan for Corner Lot: Homes on a corner lot require the irrigation plan for the street-side of the home be submitted to the HPACC for review and approval. Irrigation system must also service sod and trees between the public sidewalk and the curb on the street side of the home by misting over the sidewalk.

IMPORTANT: Irrigation zones providing water to public areas that border Owner's property are to run before 5am in moderate to warm temperatures and turned off completely during colder temperatures to avoid freezing/unsafe conditions on public sidewalks.



BELLA GROVE	
STREET TREE PROTECTION DETAIL	
Project Number	
Project Scale: N.T.S	
Drawn By: JPMc	
Date: APRIL 2017	Revision



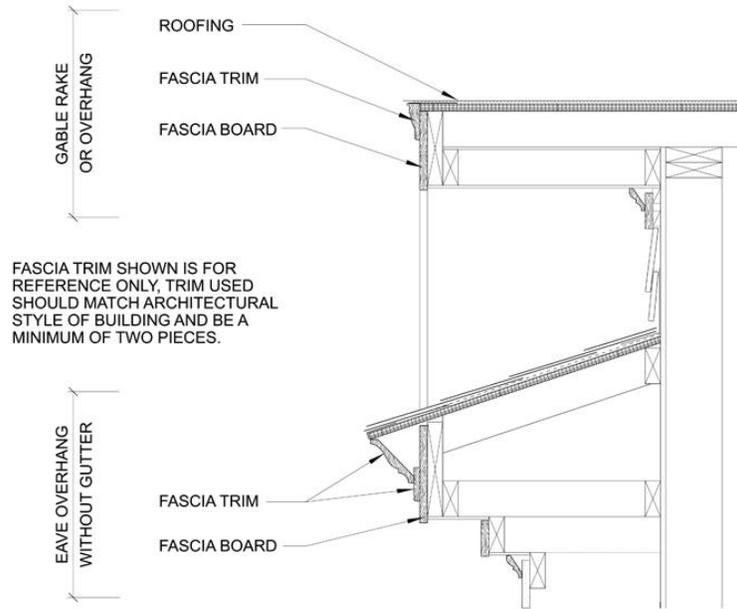
McLeod
Landscape Architects, LLC

100 West Washington St,
Suite 400
Greenville, SC 29601

Required Tree Protection During Construction
Figure 6



Two Step (Piece) Fascia Details
Fig. 7a



1

TYPICAL EAVE / RAKE DETAIL

SCALE: NOT TO SCALE

Two Step (Piece) Fascia Details

Fig. 7b

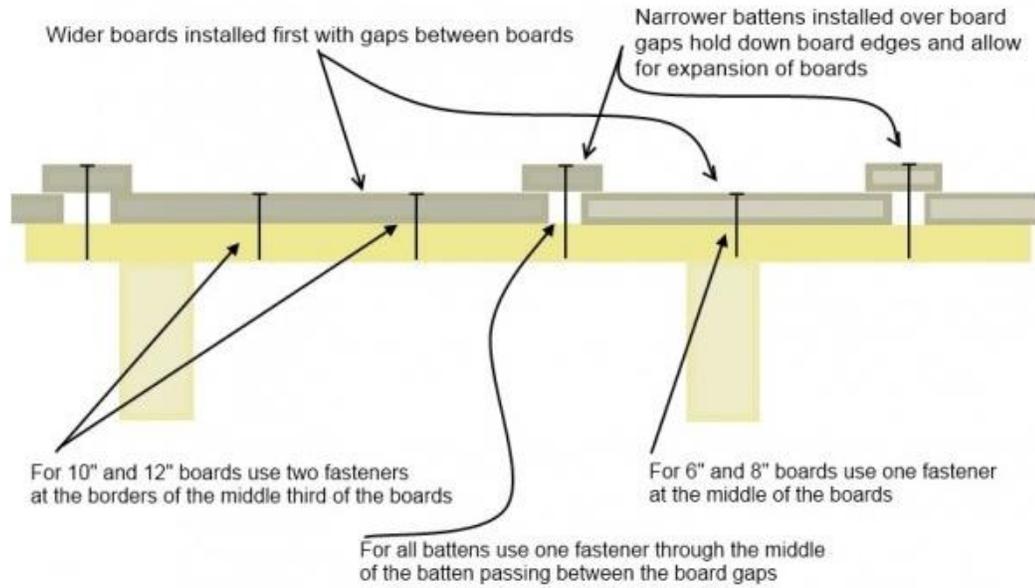


Traditional Gable Return

Cornice returns shall be required on all homes consistent with the Architectural Style. At a minimum a Traditional Gable Return shall be required.

Fig. 8

Board and Batten Siding Diagram



Traditional Board & Batten Siding Construction Method

Fig. 9

HOLLINGSWORTH PARK
—VERDAE—

Bella Grove

SUBMITTALS



SUBMITTALS

The Hollingsworth Park Architectural Control Committee (HPACC) will review all submittals. No structure or improvement may be made until the approvals described in this document have been obtained. The HPACC represents the Master Developer and acts as liaison between the Builder and the Master Developer.

The HPACC may grant approval, approval with conditions, or deny approval. The decision of the HPACC will be communicated to the builder within 30 days of submittal. Comments and/or suggestions of the HPACC may be clarified in either writing and/or by returning a set of appropriately marked drawings.

The HPACC does not assume responsibility for the structural integrity or safety features of the building or addition. Compliance with applicable state law, local government ordinances, building codes and/or regulations that is more restrictive than these guidelines shall take precedent. If such state laws, ordinances, codes, or regulations are less restrictive than the guidelines, then the guidelines take precedent.

The HPACC may require the submission of such additional information as may be reasonably necessary to consider any application.

Any incomplete submittal not consistent with the submittal criteria may be rejected without review.

In reviewing each submission, the HPACC may consider any factors it deems relevant, including, without limitation, harmony of external design with surrounding structures and environment. Decisions may be based purely on aesthetic considerations.

Each Owner acknowledges that determinations as to such matters are subjective and opinions may vary as to the desirability and/or attractiveness of particular designs or improvements, but in all cases the decision of the HPACC is final.

In addition to the \$5,000 bond or cash deposit required for Hollingsworth Park Approved Builders, each builder for New Construction within Bella Grove will be required to provide a separate \$5,000 bond or cash deposit with the developer to cover any damage to the roads, curbs or roundabouts that may be caused as a result of construction traffic within Bella Grove. If this \$5,000 bond or cash deposit is used to cover damage, the builder will be required to provide an additional bond or cash deposit in the amount of \$5,000 prior to continuing construction within Bella Grove. Any bond or cash deposit amount will be refunded to the builder upon the satisfactory completion of construction within the neighborhood. In the event the actual cost of repairing such damage exceeds the bond or cash deposit, the builder will be responsible for any additional amount. Liens may be filed and enforced. Following occupancy (after initial home construction), the liability for damage to non-owned property (common/public/other) transfers to the homeowner.

REVIEW PROCESS

No structure of any kind or nature or any fence or barrier shall be commenced, erected, placed, moved onto, or allowed to remain on any of the Lots within the Property, nor shall any existing structure, fence or barrier upon any Lots be altered in any way which substantially changes the exterior appearance (which includes but is not limited to changes in paint color and re-roofing) thereof, nor shall there be any additions, attachments, or deletions to improvements, nor shall there be any changes in landscaping, without the written consent of the HPACC; nor shall any new use be commenced on any Lot unless plans and specifications (including a description of a proposed new

use) have been submitted to and approved in writing by the HPACC. The Review Process shall be completed prior to construction beginning.

In the event that approval is denied during the final review process, revised documents would be required and resubmitted for approval.

The HPACC also reserves jurisdiction over all additions, alterations, or changes to any as-built property in Hollingsworth Park. The HPACC assigns professional staff to monitor construction throughout the building process. Although the HPACC does not control distribution of payment to the builder, the HPACC reserves the right to stop construction, should the construction be inconsistent with the approved contract documents. Any and all liability for damages resulting from delays, tradespersons, or any other factor shall be borne by the Builder, who shall hold the Master Developer and the HPACC or their designated assignees harmless. The Builder shall resume work as soon as possible after corrections have been made, and found to be in compliance with the approved Contract Documents. The HPACC is the final design review authority for all buildings, appurtenances, or other structures within the Hollingsworth Park Community.

If any structure, fence, or barrier shall be altered, erected, placed or maintained (including exterior maintenance) upon any Lot or any new use commenced on any Lot without approval by the HPACC, such alterations, erection, maintenance, or use shall be deemed to have been undertaken in violation of the restrictions. Upon written notice from the HPACC any such violation shall be removed or altered, and such use shall be terminated so as to extinguish such violation.

If fifteen (15) days after the notice of such violation, the Owner of the Lot upon which such violation exists shall not have taken reasonable steps towards the removal or termination of the same, the HPACC shall have the right through its agents and employees to enter upon such Lot and to take such steps as may be necessary to extinguish such violation, and no such persons shall be deemed to have committed a trespass or other wrongful act by reason of such entry. The costs thereof shall be binding personal obligation of such Owner as well as a lien upon the Lot in question which may be enforced in the same manner as the lien established in the Covenants.

APPEAL PROCESS

In the event any plans for additions, alterations or changes to any as-built property in Hollingsworth Park are declined as part of the preliminary review process, the applicant may elect to resubmit the request for reconsideration ("Appeal") under the following terms and conditions:

- An Appeal must demonstrate that there is a material difference in the scope of the project that warrants reconsideration by the HPACC.
- The applicant must include in the submittal a review fee of \$150.
- The applicant will be limited to one Appeal per project submitted.
- The Appeal must be in writing with supporting graphic documentation.

NEW CONSTRUCTION PLAN SUBMITTAL CHECKLIST

Builders must prepare a package including 1 set of drawings on 24"x36" sheets, a PDF version of the plans and specification along with a CAD file of the final site plan for each submittal to:

Hollingsworth Park Architectural Control Committee
c/o Verdae Development, Inc.
340 Rocky Slope Road, Suite 300
Greenville, SC 29607
Phone: (864) 329-9292

New Construction:

Applies to a structural or site modification where no previous structure or site modification has occurred.

Main Review Submittal:

1. Completed Construction Plan Submittal Form
2. Copy of Approved Plan Reservation Form
3. Site Plan Including:
 - a. Lot Number
 - b. Lot Lines with Dimensions and Total Lot Area
 - c. All Required and Applicable Setbacks
 - d. Building Footprint Including Roof Plan (dashed) with Overhangs
 - e. Roadways, Driveway, and Additional Parking
 - f. Sidewalks and Walkways
 - g. Hardscape Elements
 - h. Mechanical Equipment and Service Areas
 - i. Outdoor Fireplaces and Kitchen
 - j. Garden Structures Contemplated (gazebo, trellis, pergola, etc.)
 - k. Fencing and Walls
 - l. Drainage Plan (includes plan to avoid Stormwater impact to adjacent property)
4. All Building Elevations Including: (Identify the name of the Pre-approved plan or note as a Custom Plan and call Attention to Any/All Requests for Changes to Pre-approved Plan).
 - a. Floor Elevations Relative to the Sidewalk Grade
 - b. Principal Materials Drawn and Specified
 - c. Specified Roof Pitches and Materials
 - d. Building Height Measurements
 - i. To the Roof Peak
 - ii. To the Underside of the Eave or Cornice
 - e. Openings, Doors and Windows
 - f. Porch, Stoop, or Portico Dimensions
 - g. All Fencing and Walls (including their details)
 - h. Mechanical Equipment and Service Areas
 - i. Outdoor Fireplaces and Kitchen
 - j. Garden Structures Contemplated (gazebo, trellis, pergola, etc.)
 - k. Corner Lot Side Wall Treatment (if applicable)
5. Floor Plan(s), All Levels Including:
 - a. Windows and Doors with Swings Shown
 - b. Overhangs (dashed)

- c. Overall Dimensions
 - d. Area Calculations (including A/C areas, covered areas, and garage areas)
 - e. Fences and Mechanical Equipment
 - f. Applicable Setbacks
6. Landscape Plan Including:
 - a. Pre-approved Landscape Design – Label as “No Changes” or Call Attention to Any/All Changes for HPACC Review. Also note Corner Lot Treatment (if applicable).
 - b. Pre-approved Irrigation Plan – Labeled as “No Changes” or Call Attention to Any/All Changes for HPACC Review. Also note Corner Lot Treatment (if applicable).
 - c. Custom Landscape and Irrigation Plans – Label as Custom for HPACC Review. Also, note Corner Lot Treatment (if applicable).
 7. Color Palette Submittal Form (If approved earlier, please submit copy of approved form.)
 8. Provide CAD site plan, showing the roof plan, driveway, walkways and landscaping to be incorporated into the overall master plan.

Major Alterations or Additions:

Applies to a structural or site modification taking place after the original construction, which is significant enough to warrant the issuance of a building permit by a governmental authority. Major alterations and additions must comply with design guidelines and be submitted for review in accordance with these guidelines.

Minor Alterations or Additions:

Applies to structural or site modifications of a relatively insignificant size or scope. Minor alterations and additions must comply with Design Guidelines, and the character of the original house needs to be submitted for review. It is best to describe your minor project to the HPACC before proceeding to ensure that a submittal is not required.

Changes or Resubmitting of Plans:

Applies when a submission for which the HPACC previously granted Final Approval is resubmitted for Final Modifications due to a minor change in the original approved plan, or when a submission previously denied by the HPACC is re-submitted for Final Approval. Changes or resubmitting of plans may require additional fees.

FORMS



Submit forms with required detail to:

Hollingsworth Park Architectural Control Committee
c/o Verdae Development, Inc.
340 Rocky Slope Road, Suite 300
Greenville, SC 29607
Phone: (864) 329-9292

HOLLINGSWORTH PARK
—VERDAE—

Bella Grove

HPACC c/o Verdae Development, Inc. • 340 Rocky Slope Road, Suite 300, Greenville, SC 29607 • (864) 329-9292

PLAN RESERVATION FORM

Date: _____ Lot Number: _____

Owner: _____

Owner Telephone: _____ Owner Email: _____

Selected Plan: _____ or Custom Plan

For Office Use Only:

Date: _____

Plan Selection Approved: Approval Expires: _____

Plan Selection Approved (*pending lot closing*): Pending Approval Expires: _____

Plan Selection Denied:

Plan Builder: _____

Comments: _____

Signature: _____

*Plan Reservation is subject to the standards and the terms for compliance outlined in the Bella Grove Neighborhood & Design Guidelines document.

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HPACC c/o Verdae Development, Inc. • 340 Rocky Slope Road, Suite 300, Greenville, SC 29607 • (864) 329-9292

COLOR PALETTE SUBMITTAL FORM

Date: _____ Lot Number: _____ Plan Name (or Custom): _____

Owner: _____

Owner Telephone: _____ Owner Email: _____

Exterior Main Body Color (*paint swatch must be attached to form*)

Paint Number: _____ Paint Name: _____

Front Door Color (*paint swatch must be attached to form*)

Paint Number: _____ Paint Name: _____

Trim Color (*paint swatch must be attached to form*)

Paint Number: _____ Paint Name: _____

NOTE: All other color and material details to be included with the construction plan submittal documents.

For Office Use Only:

Date: _____

Color Palette Approved: Approval Expires: _____

Color Palette Approved (*with noted comments*): Conditional Approval Expires: _____

Color Palette Approved (*pending lot closing*): Pending Approval Expires: _____

Color Palette Denied:

Plan Builder: _____

Comments: _____

Signature: _____

*Color decisions are subject to the standards and the terms for compliance outlined in the Bella Grove Neighborhood & Design Guidelines document.

HOLLINGSWORTH PARK
—VERDAE—

Bella Grove

HPACC c/o Verdae Development, Inc. • 340 Rocky Slope Road, Suite 300, Greenville, SC 29607 • (864) 329-9292

NEW CONSTRUCTION PLAN SUBMITTAL FORM

Fee: \$350 (*Fee collected at closing*)

Date: _____ Lot Number: _____ Plan Name (or Custom): _____

Owner: _____

Owner Address: _____

Owner Telephone: (mobile) _____ (office) _____

Owner Email: _____

Builder/Contact: _____ (phone) _____

Builder Email: _____

For Office Use Only:

Review Date: _____

*Approved:

Pending Approval:

*Additional Submittal Items Required
(Detail Emailed to Builder/Owner)*

Changes Required – Please Resubmit

(Detail Emailed to Builder/Owner)

Signature: _____

*All construction is subject to the standards and the terms for compliance outlined in the Bella Grove Neighborhood & Design Guidelines document.

HOLLINGSWORTH PARK
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Bella Grove

HPACC c/o Verdae Development, Inc. • 340 Rocky Slope Road, Suite 300, Greenville, SC 29607 • (864) 329-9292

RESIDENTIAL CHANGE FORM
(For Use After Original Home Occupancy)

Select Level of Change Submitted:

- | | | |
|--|--------|--------------------------|
| All Exterior non-structural including painting and landscaping changes | No Fee | <input type="checkbox"/> |
| Minimal structural change with a construction cost of < \$10,000 | \$50 | <input type="checkbox"/> |
| Structural change with a construction cost > \$10,000 | \$200 | <input type="checkbox"/> |

Date: _____ Owner: _____

Address: _____

Phone: _____ Email: _____

Contractor/Vendor Name: _____ Phone: _____

Submitted By *(print name)*: _____ Signature: _____

Change Description:
(Please include drawing, materials and/or color detail, if applicable.)

For Office Use Only:

Check Number: _____ Date Received: _____ Review Date: _____

*Approved:

Pending Approval:
Additional Detail Required
(Detail Emailed to Owner)

Denied
(Comments Emailed to Owner)

*All construction is subject to the standards and the terms for compliance outlined in the Bella Grove Neighborhood & Design Guidelines document.

HOLLINGSWORTH PARK
—VERDAE—

Bella Grove

HPACC c/o Verdae Development, Inc. • 340 Rocky Slope Road, Suite 300, Greenville, SC 29607 • (864) 329-9292

APPEAL FORM

Fee: \$150

Date: _____ Lot Number: _____ Owner: _____

Owner Telephone: (mobile) _____ (office) _____

Owner Email: _____

Builder/Contact: _____ (phone) _____

Builder Email: _____

Submitted By (*print name*): _____ Signature: _____

State Reason for Appeal and Request:
(*Please include drawing, materials and/or color detail, if applicable.*)

For Office Use Only:

Check Number: _____ Date Received: _____ Review Date: _____

*Approved:

Pending Approval:
Additional Detail Required
(*Detail Emailed to Owner and/or Builder*)

Denied
(*Comments Emailed to Owner and/or Builder*)

*All construction is subject to the standards and the terms for compliance outlined in the Bella Grove Neighborhood & Design Guidelines document.