

STATE OF SOUTH CAROLINA)
COUNTY OF GREENVILLE)
GREENVILLE, S.C.)
OF WILLIAMSBURG AT BOTANY WOODS)
HORIZONTAL PROPERTY REGIME)

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BOOK 1632 PAGE 1322 ✓✓

WHEREAS, BWIT ~~DOFFY~~ ^{R.M.C. PERSLEY}-Fifth Street, Inc. (doing business as The Lexington Group, Inc.) expressly declared its intent to submit certain real property to the Regime established by the "Horizontal Property Act", Code of Laws of South Carolina 1976, as amended, paragraph 27-31-10, et seq. by Master Deed recorded in Deed Book 1258 at Page 227, RMC Office of Greenville County, South Carolina, and

WHEREAS, the provisions of said Master Deed provide that reasonable regulations respecting the use of the Regime property may be made and amended from time to time by the Association (as defined in said Master Deed), provided that all such regulations and amendments thereto shall be approved by Co-Owners owning at least 66-2/3% of the common elements of the Regime Property, and

WHEREAS, the Association did duly and properly call a Special Meeting of the Co-Owners of the Regime property on Saturday, December 2, 1995 for the purpose of discussing proposed reasonable regulations, and the Association did mail to all owners on Monday, December 4, 1995 said proposed regulations and ballots for voting, and

WHEREAS, pursuant to said Special Meeting and Vote, Co-Owners owning at least 66-2/3% of the common elements of the Regime property did duly and properly approve the Rules and Regulations which are attached hereto and incorporated herein to previously approved Rules and Regulations mistakenly referred to as Exhibit A in the Amendment dated March 15, 1988, and correctly known as Exhibit G to said Master Deed.

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NOW, THEREFORE, the undersigned, being all of the duly elected Directors of Williamsburg At Botany Woods Council of Co-Owners, Inc. ("Grantor"), do hereby amend the Master Deed of Williamsburg at Botany Woods Horizontal Property Regime by adding and appending the attached Rules and Regulations as Exhibit G to said Master Deed.

Said Rules and Regulations shall now be considered an amendment and additions to said Master Deed, and shall be enforceable and operative against all Co-Owners of the Regime property in accordance with the terms of said Master Deed and the Horizontal Property Act.

WITNESS the Grantor's(s') hand(s) and seal(s) this 17th day of January, 1996.

Signed, sealed and delivered in the presence of:

[Signature]
[Signature]

WILLIAMSBURG AT BOTANY WOODS COUNCIL OF CO-OWNERS, INC.

By: [Signature]
President

[Signature]
Vice President

[Signature]
Secretary

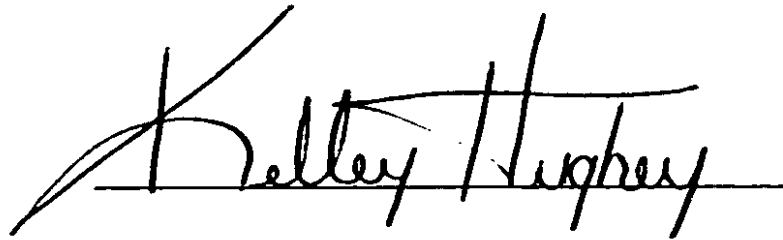
[Signature]
Treasurer

[Signature]
Asst. Secretary/Treasurer

STATE OF SOUTH CAROLINA)
)
COUNTY OF GREENVILLE)

PROBATE

Personally appeared before the undersigned witness and made oath that (s)he saw all of the within-named grantor(s) sign, seal and as the grantor(s) act and deed, deliver the within written Amendment to Master Deed of Williamsburg at Botany Woods Horizontal Property Regime that (s)he, with the other witness(es) subscribed above, witnessed the execution thereof.



SWORN to before me this
19 day of January, 1996.

Lynn J. Freeman
Notary Public for South Carolina

My Commission Expires : My Commission

My Commission Expires November 20, 2003

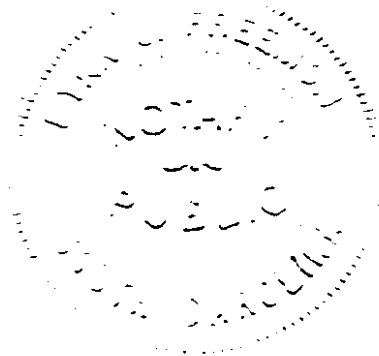


EXHIBIT G

WILLIAMSBURG AT BOTANY WOODS
RULES AND REGULATIONS

BOOK 1632 PAGE 325

Revised December, 1995

I - OWNER/TENANT INFORMATION

A. Residents (homeowners and tenants) are responsible for their guests at all times and for insuring their compliance with all Association rules and regulations, including those restrictions described in the Williamsburg at Botany Woods Master Deed.

B. Absentee homeowners are responsible for their tenants or tenants' guests compliance with all rules and regulations

C. Absentee homeowners forfeit all rights and privileges for use of the pool, playground, clubhouse or other common area.

D. "For Rent" signs are prohibited. Such signs may not be displayed in or on a unit, in or on the Common Areas or on Williamsburg property bordering Edwards Road.

E. An owner deciding to lease his unit must fully complete a Tenant Information Form and forward to both the Property Manager and the President of the Board of Directors prior to a tenant's occupancy. Incomplete forms will be returned to the owner for completion. The Association must have the names of all residents and the identification of all vehicles owned by residents of Williamsburg. A form is attached for your convenience.

F. Occupancy of leased units shall not exceed the following:

1 Bedroom	2 Residents
2 Bedroom	4 Residents
3 Bedroom	5 Residents

G. A copy of the current Rules and Regulations must be given to each tenant by the owner at the time of occupancy. A signed copy of the tenant's receipt of the Rules and Regulations must be forwarded to the Property Manager within 10 days of occupancy.

H. To ensure competitive rents with other comparable condominium properties and to attract quality residents, each owner shall maintain his unit in a good state of preservation and cleanliness.

I. A tenant must have the owner's written permission, as shown on the Tenant Information Form, for a domestic pet

II - PETS

A. Pet owners are responsible for any property damage caused by their pets and must ensure that their pets do not become a nuisance or unreasonably disturb the neighbors.

B. Effective for any new owner after January 1, 1996, Williamsburg permits 2 domestic pets (cats and/or dogs) per unit.

C. Effective for any new owner after January 1, 1996 a resident may not own, pet-sit or care for any domestic animal (cat or dog) on the property, weighing more than 30 lbs.

D. Exotic species and domesticated wild animals are prohibited.

E. Any animal breeding for commercial purposes is prohibited.

F. Under no circumstances are any pets allowed outside the units unless they are under the owners control. No pets will be allowed to roam through the community.

When curbing pets, the owner must clean up the area and dispose of any waste.

G. Owners must "poop scoop" after their pet, and bag and dispose of pet waste in the dumpsters.

H. Pets are not allowed in the pool or clubhouse area.

I No dogs or other pets shall be left alone to run loose or be tied or fenced-in on any common area or limited common area (patios, decks, porches, sidewalks) or under any building.

J. For the safety and well-being of all residents, especially our children, every resident owning a domestic pet (cat or dog) must complete a Pet Registration Form in January of each year and forward it to the Property Manager. Should a(new) pet be acquired during the year, the Property Manager must be notified by submitting a new Pet Registration Form. (See attached)

III - GENERAL APPEARANCE OF UNITS & COMMON AREAS

A. No structures or objects deemed unsightly by the Board of Directors, including but not limited to, clotheslines, mops, brooms, trash cans, garbage or refuse, tools, etc. shall be allowed in the fenced-in areas appurtenant to a unit or common area or limited common area (patio, decks, porches, sidewalks), or is visible from another unit of the Common Areas, except by special written permission by the Board of Directors.

B. No exterior alterations or additions will be allowed to the unit or to the grounds without approval from the immediately adjacent neighbors (or owners) and the Board of Directors. If changes are made without approval, the unit will be restored to the original condition at the owner's expense.

- C. No exterior shades, awnings, window guards, ventilators, fans or window air conditioners shall be used without written permission by the Board of Directors.
- D. No exterior antenna for television, radio, weather or of any other sort may be placed on property, a unit or in the Common Areas.
- E. No satellite dishes are allowed on the property or in the Common or Limited Common Areas.
- F. Towels or laundry are not to be hung over front or back railings.
- G. Only clear light bulbs may be used in exterior lighting fixtures.
- H. Williamsburg is a single family residential community.
- I. An owner or resident may not operate any business from their unit if such business results in increased vehicle and client traffic on the property, or presents an increased insurance risk to the Association or interferes with the rights, comforts, convenience and pleasant enjoyment of other residents.
- J. Only 1 "For Sale" sign is allowed. It must only be displayed in a window and may be no larger than 12" x 24". Realtors must be required to cooperate in this matter.
- K. No Realtor or personal "For Sale" signs are allowed in the Common Areas, at a Unit (other than in the unit window) or in front of the property on Edwards Road.
- L. No structures such as trailers, tents, shacks, barns, storage houses etc. shall be constructed or placed upon any portion of the Common or Limited Common Areas.
- M. All residents are responsible for keeping their possessions off all front porches, steps, sidewalks, common areas, parking areas and roadways. Residents are responsible for cleaning up and removing all personal items from Common Areas after use. The Board of Directors is not responsible for articles left in Common Areas.
- N. There is to be no commercial soliciting.
- O. The shooting of firearms, BB guns and pellet guns is prohibited; also the shooting of fireworks on the common grounds is prohibited.
- P. No owner shall use or permit to be brought on the property, for storage or for use, any inflammable oils or fluids such as gasoline, kerosene, naphtha, or benzine or another explosives or articles deemed extra hazardous to life, limb or property.
- Q. Quiet should be observed in all Common Areas and parking areas, including clubhouse and pool areas, between 11:00 PM and 9:00 AM. All audio equipment (radios) should be operated at a normal or moderate volume.
- R. All window treatments, when viewed from the exterior of the apartments, shall be either white or off-white in color.

IV - VEHICLES

- A. Each unit has two (2) parking spaces for its residents use. Residents must ensure that their guests do not use other residents parking spaces without their consent.
- B. 10 miles per hour is the maximum speed limit on all Williamsburg at Botany Woods roadways as posted.
- C. Opposite curb parking by 2 vehicles is prohibited. Park only in a manner that will allow emergency vehicles access and allow residents sufficient room and view to back out of their parking spaces.
- D. Bicycles and/or skateboards shall not be ridden on the sidewalks.
- E. For the safety of children and residents, go-carts or any type of motorized child's vehicle are prohibited at Williamsburg.
- F. Motorcycles, motorbikes and minibikes shall not be driven within the community except to travel to and from your residence.
- G. Motorcycles, motorbikes and minibikes shall not be parked on sidewalks, porches, patios or decks or in the grassed Common Areas.
- H. No vehicles, cars, trucks or bicycles are to be driven or parked on the grass, sidewalks or any recreation areas.
- I. All vehicles at Williamsburg must be properly tagged and currently licensed.
- J. No major repair work is permitted to be done on cars or trucks in the parking areas or Common Areas.
No dead storage of cars, trucks or boats/trailers is permitted in parking areas or Common Areas.
There shall be no overnight parking of school buses, tractor-trailers, or other vehicles over two (2) tons.
- K. Due to limited parking facilities, there shall be no overnight parking of recreational vehicles, campers, boats/trailers etc.
- L. For the safety and security of all residents, all owners and residents shall annually register their vehicles with the Property Manager. Any time a new vehicle is acquired, that vehicle shall immediately be registered with the Property Manager (see attached vehicle registration form).
- M. Repeated vehicle violations may result in a resident's vehicle being towed from the property at the owner's expense. This decision would be made by The Board of Directors.
- N. The Williamsburg Homeowners Association pays for the water and sewer bills of all residents. Occasional washing of personal vehicles is permissible, however, under no circumstances are residents to allow non-residents, including guests, visitors, and relatives to wash their cars on the property.

V - REGIME FEES

1632 PAC 7329

Monthly regime fees are used for grounds maintenance, exterior building repairs and maintenance, exterior lighting, water and sewer expenses, pool and clubhouse maintenance, trash services, legal, administrative and management fees, hazardous insurance on the property, and to fund our Replacement, Insurance and Capital Expense Reserves.

When Regime Fees are not paid, or paid on time, Williamsburg cannot pay its vendors, provide homeowner services or fund its Reserves for future expenses.

In accordance with the Master Deed, a delinquent owner forfeits all rights to Common Grounds and the facilities, including the pool and clubhouse. This also applies to the tenant if the unit is leased.

To prevent ongoing delinquency problems, (which result in a significant cash flow risk to the Association), the following procedures are used:

Reminder notices and then warning notices when payment not received.

A lien is placed on the unit when 60 days in arrears. Legal fees are charged to the homeowner. All liens are on file at the courthouse and an owner is unable to sell the property if there is a lien on it.

At 120 days in arrears, the owner is brought before The Magistrate and/or a Personal Judgement is filed against the owner. All court and legal fees are charged to the delinquent owner. Personal Judgements remain on credit records for 7 years.

To ensure a more stable environment for The Association and those homeowners who faithfully pay in a timely manner, the following Rules and Regulations are proposed.

A. Regime Fees are due on the 1st and payable by the 10th of the month in which they are due. If Regime Fees are received after the 10th of the month, a late fee of \$10.00 will automatically be charged.

B. A \$10.00 fee will be charged monthly to any account carrying a past-due balance.

C. Any owner more than 60 days in arrears will not be allowed to park any vehicles on the property. If, after notification, a delinquent owner's vehicle(s) is parked on the property, it will be towed at the owner's expense. If the unit is a leased unit, the tenant's vehicle(s) will be towed from the property.

VI - VIOLATIONS

To ensure the future of Williamsburg at Botany Woods, and to protect the rights and property interests and values of all homeowners, cooperation of all residents in the community is needed.

Should a resident (owner or tenant) violate the approved Rules and Regulations of Williamsburg, the following procedures apply:

A warning letter is sent to the owner (and tenant if a rental unit) detailing the violation.

A. Should another complaint be received as a result of a second (2nd) violation, the owner will be fined \$25 to \$50. Depending on the severity and seriousness of the violation, the fine will be determined by The Board of Directors.

Repeated violations and complaints result in the matter being referred to The Association's attorneys for legal action. All legal fees and court costs are charged to the owner.

VII - POOL

- A. The Association does not provide a lifeguard and is not responsible for injuries or accidents. Use the pool at your own risk.
- B. Owners and tenants are responsible for their guests. Guests must be accompanied by a Williamsburg at Botany Woods resident. A maximum of two (2) guests in addition to the immediate family is permitted. Special permission may be requested of the Board of Directors for a larger number of guests.
- C. Unbecoming behavior, improper dress (such as cut-offs), profanity or other abuse of the facility may result in loss of pool privileges.
- D. Children under 14 should not use the pool unless accompanied by a capable swimmer of 18 years or older.
- E. Regulations do not allow:
 - 1. Glass, pottery or any other breakable items.
 - 2. Wheeled vehicles (strollers, bicycles, tricycles, skateboards, etc.)
 - 3. Pets
 - 4. Balls
- F. Playing with pool equipment and/or furnishings, running, pushing, or horseplay are all prohibited.
- G. No floating mattresses, chairs, etc. You may use small rings or life vests for safety.
- H. Bathers must shower before entering pool. Suntan lotion must be removed before entering water.
- I. All Williamsburg at Botany Woods furniture is to remain within the pool enclosure and in an orderly fashion.
- J. Each resident is responsible for properly disposing of all refuse and litter in provided containers.
- K. Bathers in diapers are prohibited from the pool for sanitary reasons.

L. Portable radios only will be premitted at the pool and they should be operated at a low level.

M. Entrance gates should be locked at all times.

N. The pool may not be reserved for private parties at any time.

O. The right is reserved to refuse entry or privileges to anyone.

P. Pool opening hours:

Monday - Friday	9:00 A.M. - 8:00 P.M. All Ages 8:00 P.M. - 10:00 P.M. Adults Only (18 or over)
Saturday	9:00 A.M. - 1:00 P.M. Adults Only (18 or over) 1:00 P.M. - 10:00 P.M. All Ages
Sunday	10:00 A.M. - 10:00 P.M. All Ages

VIII - CLUBHOUSE

A. The clubhouse will not be rented for commercial use.

B. All private parties held in the clubhouse must have a resident adult (21 years of age or older) as sponsor. Resident must be in attendance during the party and be responsible.

C. The key for the clubhouse may be picked up from the Chairman.

D. A deposit of \$35.00 will be submitted to the Chairman at the time the reservation is made. \$10.00 of the deposit will be retained to defray the cost of utilities, etc. The balance of the deposit will be refunded after each function, provided the clubhouse and the area is properly cleaned to the satisfaction of a committee of threem who will inspect the facility. If it has not been properly cleaned, the deposit will be used to hire a cleaning service. The sponsoring resident will be responsible for any damage to the building or equipment.

E. The clubhouse must be cleaned and the key returned by 12:00 noon on the day following the function.

F. There will be a limit of four (4) yearly reservations per resident family without special permission from the Chairman.

G. The sponsor giving the function in the clubhouse will have use of the pool (in season) and pool area after 6:00 P.M. only. All other residents will have use of the pool and pool area, but not the clubhouse during the function. All pool rules will be enforced.

H. No pets are permitted in the clubhouse.

I. No wet bathing suits allowed in the clubhouse.

J. Clubhouse functions must end by 11:00 P.M. during the week and by 1:00 A.M. on weekends. Activities in the pool areas must end by 10:00 P.M.

K. All parties for persons 18 years of age or under must be chaperoned at all times, with no less than two (2) adults (21 years of age or older), one of which is the resident/sponsor, per fifteen (15) persons. Absolutely no alcoholic beverages, including beer or wine, will be permitted at these parties.

L. Replace furniture in an orderly fashion.

M. Leave clubhouse and all equipment clean.

N. Turn off all the lights.

O. Return thermostat setting to:

Winter: 60 Degrees
Summer: 80 Degrees

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Doris S. Taubert