

THE PLANTATION ON PELHAM



Architectural design and construction guidelines,
applications, and agreements.

THE PLANTATION ON PELHAM

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Dear Property Owner:

These guidelines provide the intent and stated purpose of our design and architectural standards and are intended to serve as your guide in the process of planning a new home or executing an exterior modification. While this document can prove to be a helpful tool in planning homes at The Plantation on Pelham, it can neither provide every answer nor guarantee ideal solutions for every situation. As questions arise concerning your building plans, the Management Company staff and the ARC will be happy to offer suggestions and guidance. We encourage you to participate when possible in all presentations as they are made by your architect, designer or builder.

We hope you, your designer, and builder will find the guidelines beneficial and we encourage your questions and comments. If we may be of assistance in understanding and adapting to the design, construction and site-compatibility regulations, please do not hesitate to contact us early in the process.

Sincerely,

The Plantation on Pelham
Architectural Review Committee

OVERVIEW

Plantation on Pelham is a private gated community Master Planned in “Charleston Style” architecture. A focal point of the community is the Lowndes Hill Plantation home (circa 1827.) The home served the community’s clubhouse until becoming a private residence in 2019.

Thomas O. Lowndes of Charleston, SC was attracted to the area because of the climate and settled on a hill east of downtown Greenville. The hill was later called Lowndes Hill.

The community offers 50 custom homes sites and 39 Charleston style townhomes. As of this writing, 27 homes and 33 townhomes are built and occupied.

Designed with the classic elegance of a Charlestonian architectural vernacular, this community is and should be reminiscent of the antebellum American south. This character of the community does not afford the opportunity for a wide variation of architectural expression of unrelated forms or facades and amenity uses.

Materials used in new home construction should be consistent with those of the original builders in the community. An original builder’s flyer which references exterior materials is attached to this document. Brick and Hardie Plank are preferred materials and vinyl siding is not allowed.

To achieve a high quality community image, both the overall building appearance and the building details should convey a sense of solid, permanent construction. The Architectural Review Committee will discourage facade treatments that are associated with impermanent or hastily built houses, or construction which is inconsistent with the quality of the architectural aesthetics of Plantation on Pelham.

A goal of the Architectural Review Committee will be to achieve a high level of consistency of design on all surfaces of the houses and other improvements in Plantation on Pelham where each of the individual units making up the development achieve a level of design consistency and

substantial quality within themselves. Houses that may attempt a statement of quality on their street frontage but abandon all pretense of design or quality sides and rear will not be approved. A house that may be of simple design and constructed of modest materials (if it carries that design and those materials as a whole composition) will usually communicate a more convincing image of quality than the house without continuity the building sides.

A submittal consideration in the community concept of Plantation on Pelham is to provide an architectural style from all views. The Architectural Review Committee will be looking for evidence of a clear intent as well as consistency within the architectural context established by the design. It is not the intent of the Design and Architectural Guidelines to promote rigid homogeneity in architectural character, nor to stifle the development of a broad range of interesting, creative and innovative designs, materials, and construction applications, provided they promote and result in desirable and compatible neighborhood environments, and do not detract from the value or enjoyment of neighboring properties.

The authority and discretion to approve or disapprove any plans or specifications submitted to it shall rest exclusively with the Architectural Review Committee. The Committee shall consider all such plans and specifications in light of Plantation on Pelham's Architectural Review Committee Charter, but may, in addition, consider such additional circumstances and facts, as it deems appropriate in arriving at its final decision to approve or disapprove plans.

Due to the existing lot sizes and layouts, all future dwellings within the subdivision shall comport with the Charleston Style Residential Development Theme as chartered by the ARC and consideration must be given to the relationship of adjoining structure(s) and properties as well as the terrain.

GENERAL BUILDING REGULATIONS

All builders (and owner-builders) of residences at The Plantation on Pelham must be licensed by the State of South Carolina. At a minimum, a state residential builder's license is required. Potential builders must be on Plantation on Pelham's approved builder list. Application is attached.

Access to the development is controlled. Construction workers are allowed access to and from the construction site only and are strictly forbidden from riding about the development. Vehicles may be periodically searched to protect all contractors from theft of material and equipment.

The maximum hours allowed for construction personnel will be from 7:00 a.m. to 7:00 p.m., Monday through Friday and 8:00 a.m. to 5:00 p.m. on Saturday. No residential construction work will be performed on Sundays or national holidays.

The conduct of all workmen is the responsibility of the General Contractor/Builder. Workmen are not allowed to ride about or use development facilities. Loud cars and speeding (speed limit is no greater than 10 mph in The Plantation on Pelham) are not permitted in the community. All construction vehicles must be parked on the construction site. Loud music from radios and disturbing property owners or guests will not be permitted at any time.

Contractors must have the Owner or Architect submit all proposals for home building or exterior changes prior construction or implementation. All architectural drawings must carry the Architect's stamp. The Covenants grant the ARB power to employ workers to correct any exterior changes made without approval or to employ persons to clean up an unacceptable lot. These charges will be the responsibility of the owner.

The ARB, at its sole discretion, may bar or restrict any contractor, builder or subcontractor from (a) entering The Plantation on Pelham and/or (b) construction or building any building or improvement in the Community.

These regulations are designed to enhance The Plantation on Pelham's overall appearance for our residents and visitors. Repeated violation of these regulations

could result in the suspension of the building approval for a given residence until corrective action has been taken by the contractor. Additionally, a Contractor who repeatedly violates either the letter or “spirit” of these guidelines may be required to post a larger construction deposit or, in the extreme, be prohibited from working in the community

SITE GRADING

Site grading shall be kept to a minimum and drainage systems shall be designed for minimum impact or alteration of natural drainage systems. Flooding from large storms is sometimes a temporary problem in some areas; thus particular attention must be paid when grading to avoid standing water.

Retaining walls may be used to reduce areas needing grading. The walls must reflect the architecture and enhancement of the home’s material or coloring and should be carefully integrated into the site and/or home with ARB approval required.

Sedimentation and erosion control measures must be employed during the construction process as required by the state. Please see Application Package included herein. Surface drainage must be collected or contained on-site and shall not impact adjacent properties.

CONSTRUCTION GUIDELINES

Before Construction:

After completing the review process, and receiving final approval of the stake-out and obtaining construction documents, and receiving a Building Approval from the Architectural Review Board, several steps shall be followed before any lot clearing, material deliveries, or construction may begin.

Soil erosion control and silt control measures must be installed in accordance with the approved plan. Each builder is responsible for complying with the approved erosion control plan for the development. Each builder is assigned the responsibility for all required erosion control measures on their lot and any other areas they impact.

Silt control is especially important in this community to avoid damages to the property of existing owners’.

Every job site must contain an approved sign identifying the Contractor and a contact phone number. All signs shall be constructed and erected as specified in the Application Package. No other signs shall be placed at the job site. Individual contractor signs must be approved by the Board before being placed at the job site. The job site shall be erected no closer than fifteen (15) feet to the edge of the street and must be in place with the Permits posted on the rear of the Contractors sign before clearing or construction may begin or materials be delivered. At no time shall a sign or permit be nailed to any tree. No additional subcontractor signs shall be displayed on any construction site. Signs are not to be erected before Construction Authorization Permit is issued.

An ARB Constructions Authorization Permit must be obtained for all renovations, iterations, or modifications before construction commences. Also, the Contractor must submit a completed Application Package for new construction and improvements. The receipt of this Permit does not preclude the necessity of also obtaining a County or City Building Permit. Both are required for construction along with any additional permits that may be required from other state, county or local agencies.

In summary the following steps shall be completed before construction may begin:

Receive approval of Final Review by completing and submitting the necessary plans, forms, and funds. See paragraph above and/or Summary of the Process on page 4.

- Erect approved job site sign.
- Obtain City or County Building Permit.
- Post Building Permits at job site.
- Place a commercial dumpster and portable toilet on job site.
- Install all appropriate and designated soil erosion, silt control and mud control measures.
- Provide adequate space to park vehicles out of the right-of-way and on the construction lot at all times.
- Post a \$5,000 construction bond with the Property Owners Association that will be returned in full at the end of construction provided that no fines are issued.

- Bond must be replenished to the aforementioned balance, when as a result of fines the Bond totals less than 50% of its original value. Upon completion of the project the remainder of the Bond, if any, will be refunded to the entity submitting the funds.
- A nonrefundable Architectural Review Fee of \$100 shall be submitted by the owner. Each submission beyond 2 will incur an additional \$100 submission fee.
- A nonrefundable Road Impact Fee of \$1500 shall be submitted by the owner.

During Construction:

All construction at The Plantation on Pelham will be under frequent observation by the Architectural Review Board. Periodic field inspections will be conducted by the Board members on every residence under construction.

Each construction site is required to have a **job toilet** for the use of workers. It must be placed at least twenty-five (25) feet from the street in an inconspicuous location with the door facing away from the street and neighboring homes.

Fires are not permitted on residential construction sites under any circumstances. Care should be taken when loading trucks hauling trash so as not to have it spill over while in transit. Contractors shall be held responsible for trash and debris falling from construction vehicles.

It is important that all sites be maintained in a clean and tidy manner. All construction materials must be kept within the property lines maintaining a clear street right-of-way. Access to the site should be limited to the proposed driveway location. Access over/through adjoining properties is expressly prohibited. Any restoration of damage to adjoining properties shall be the sole responsibility of contractor or builder. The storage of materials should be in an inconspicuous area on the site and should be neat and orderly. The use of adjoining properties for access or storage of any material, without the written permission of the adjacent owner, is prohibited. Temporary structures are not permitted.

Site cleanliness shall at all times be maintained at an acceptable level. If not so maintained, the ARB will issue a "Stop Work" order. An approved commercial dumpster shall be placed on each job site and shall be dumped when necessary. At the

end of each workday, materials must be stored neatly and all trash placed in the dumpster. No trash shall be strewn about the lot or piled openly. As untidy sites present a negative image to visitors and property owners, this requirement shall be strictly enforced. Should the ARB determine, in its sole discretion, that a site is not being maintained properly, it may undertake to have it maintained properly and will deduct the cost from the Construction Compliance Bond.

Maintain soil erosion and silt control measures. Prevent mud from entering roadways and adjacent lots. Remove mud from roadways frequently. Fines may result if these requirements are not met.

Temporary utilities should be installed in a neat manner. The temporary power pole must be installed plumb and will not be allowed for the placement of signs. A temporary water hookup may be provided.

As explained in foregoing detail, residential construction sites must contain the following:

1. Commercial dumpster
2. Job Toilet
3. Temporary utilities
4. Job sign (with permits)
5. Silt control, erosion control

After Construction:

When the Construction of a residence has been completed, the owner and the contractor must contact the ARB. The construction of the residence shall be completed and the landscaping shall be installed conforming to the plans previously approved by the ARB. Any unauthorized changes must be corrected before Construction Compliance Bond can be released.

Upon completion of construction and landscaping, all building debris must be removed from the site and the surrounding area. The construction site sign and the temporary power pole must be removed. At this time, the Contractor should notify the ARB that he is ready for Final Inspection.

As a checklist, the following items shall be completed:

1. Complete construction
2. Remove construction debris
3. Remove temporary facilities, utilities and signs
4. Install landscaping and mailbox
5. Pay an appropriate utility tap fee (if not already paid)
6. Notify ARB for Final Inspection

CONSTRUCTION AGREEMENT

The Plantation on Pelham
Architectural Review Committee

CONTRACTOR INFORMATION

NAME _____

ADDRESS _____

PHONE _____ LICENSE # _____

CONSTRUCTION LOCATION

ADDRESS _____

OWNER _____

JOB SUPERINTENDENT _____

PHONE # _____

Have you built any homes at The Plantation on Pelham prior to this application?

YES NO

AGREEMENT

1. Owner and Contractor have read and agree to the terms and provisions of The Plantation on Pelham CCR's and the Construction Guidelines. Failure to comply may result in fines.
2. The project will be completed as described by the drawings and specifications approved by the Board.
3. The construction site will be maintained in a clean manner, an approved job sign will be installed, a commercial dumpster and job toilet shall be placed in conformance with ARB Guidelines.
4. Contractor is responsible for the conduct of all workers performing services on this project at all times working at his direction.
5. All workers and vehicles are subject to search to help prevent theft of materials and equipment.
6. Any fines imposed will be charged to the Contractor.
7. Other than Building Contractor sign, all or other signs on the home site or displayed in the house in such a manner as to be visible from the street are prohibited.
8. Prior to tree removal, clearing or beginning construction of the building, compliance with setback lines and conformance with pre-approved tree removal plan must be verified to the ARB by a registered land surveyor at Owner's expense.
9. Any changes from the originally submitted plans and specifications affecting the exterior of the home or the site submitted must be approved in writing by the ARB prior to action.
10. Drainage (including road ditches and culvert pipe beneath the construction access road) is to be approved by The Plantation on Pelham ARB.
11. Silt fences and erosion control measures shall be installed by lot owner at his expense prior to any clearing.
12. No burning is permitted on the site.
13. Stumps, wood or other materials shall not be dumped on adjacent lots. Clean up surrounding lots for trash weekly.
14. Any dogs or pets brought to the job site shall be leashed and contained within the property boundaries.
15. The speed limit is 10 miles per hour and shall be strictly enforced.

16. Construction vehicles shall not block roadways or mailboxes. Neighboring driveways may not be used for parking or turn-around.
17. Mud on the roadways shall be minimized at all times. Failure to control mud and mud build-up on roads is grounds for fines and/or ARB ordered clean up at Owner's expense.
18. Construction shall conform to the latest requirements of the South Carolina state Building Code, South Carolina Plumbing Code, the National Electric Code and pertinent local codes. Each contractor or subcontractor is responsible for ensuring work meets such requirements and obtaining all approvals.
19. It is understood and agreed to by both Owner and Contractor that failure on their part or on the part of either of them to comply with the terms and provisions in any part of The Plantation on Pelham's CCR's and/or Construction Guidelines may result in a cease-and-desist order or fine against them and forfeiture of the portion of the privilege of traveling on the roadways within Plantation on Pelham.
20. It is understood that the ARB has the authority to bar or restrict any Builder, Contractor, or Subcontractor from entering any building or improvement in the community
21. I have been given a copy of The Plantation on Pelham's Construction Guidelines. "I understand said requirements and agree to abide by the Guidelines and accept fee penalties if imposed."
22. Construction must be completed within 12 months of commencement unless a variance is granted by the ARB. Failure to complete within the specified time frame may result in forfeiture of the Construction Compliance Bond.
23. It is recommended that the Owner and Builder have in their contract to build/remodel clear wording as to how their contract will be dissolved in the event the builder is disqualified by the HOA for ARC violations.

BUILDING CONTRACTOR

THE PLANTATION ON PELHAM

OWNER

DATE

SCHEDULE OF FINES

THE PLANTATION ON PELHAM ARCHITECTURAL REVIEW BOARD

The following is a schedule of fines, which may be imposed on a daily basis. Fines are legally assessable and collectable. Liens may be filed and enforced. Fine amounts are subject to change at the sole discretion of the ARB. Fines may be issued at the one-day fee with no warning; reasonable time for correction will then be allowed before daily fines are imposed.

No dumpster _____	\$500.00
Burning _____	\$500.00
Littered Site _____	\$500.00
No erosion control* _____	\$500.00
No temporary sanitation (job toilet) _____	\$500.00
Parking in right-of-way _____	\$200.00
Building Material in right-of-way Subject to cost of repair _____	\$200.00
Damage to right-of-way _____	\$200.00 + repair cost
Parking on adjacent property _____	\$200.00
Building materials or equipment on adjacent property _____	\$200.00
Non-conforming job sign _____	\$200.00
Damage to small trees, vegetation, or natural areas _____	\$200.00 + replacement cost
Unauthorized removal or destruction of trees five (5) inches and larger in diameter -- per tree _____	\$500.00 + replacement cost

*The ARB reserves the right to direct the installation of Erosion Control measures, including silt fence, at Owner's expense, if such measures are not properly installed and maintained.

For silt fence installation, the cost shall be \$500.00 plus \$2.00 per lineal foot of fence installed. Failure to control mud on roadways is grounds for fines as may be determined by the ARB.



"We saved the best view for you!"

The Fairfield

EXTERIOR FEATURES

- Attractive and low maintenance "Hardie Plank" siding is primed plus 2 coats finish paint (Latex)
- Pre-finished seamless aluminum gutters and downspouts
- All downspouts piped away from the house and foundation
- 25 yr. architectural roof shingles
- A variety of entry doors per plan with deadbolts and keyed alike
- Raised panel metal garage doors with automatic openers
- Energy efficient insulated Andersen windows with full screens
- Generous landscape includes heavily planted front, sodded and irrigated
- Mailboxes on each residence

INTERIOR FEATURES

All homes have gracious 10' ceilings on the 1st floor and 9' ceilings up. Luxurious trim package includes:

- 6 panel Colonial masonite molded doors throughout
 - 3 and 1/2" R-B3 casings on all doors and windows throughout
 - 1 x 8 width base cap baseboard throughout the main floor
 - - 1 x 6 upstairs
 - Beautiful staircase with stained oak treads and painted risers
 - Scrolled ends included, stained rail plus post and painted spindles
 - Four piece 6" crown molding in kitchen, breakfast room, dining room, great room, and any 1st floor bedroom/bath or study
- All trim receives alkyd oil enamel 3 coats gloss white

- Distinctive Wood Kitchen Cabinets in choice of oak, alder or white-raised panel
- Corian counter tops in kitchen
- 3/4" common oak flooring in foyer, kitchen, breakfast room, dining room, powder room, great room
- Mirrors over all vanities to width
- Ceramic tile in laundry room and baths
- \$22.00 per sq. yd. carpet installed in all other rooms (includes pad, labor and carpet)
- Drywall throughout the house plus garage; taped, bedded, skimmed, sanded smooth
- All ceilings are a smooth finish, latex flat ceiling white
- Interior walls receive latex flat finish coat - owner to choose color of each room on color sheet - 4 color limit
- 42" ventless fireplace with gas logs, mantle and marble profile hearth included (see allowance)

PLUMBING PER ALLOWANCE

- Typically, allowance includes:
- Jacuzzi brand whirlpool in master bath, sized per plans
 - Fiberglass tub/shower units in all bathrooms
 - Moen single lever chrome faucets in all baths
 - except powder room and master bath
 - Master bath and powder room faucets - all brass plate
 - WaterSaver elongated closets in all baths
 - Two exterior hose bibs
 - 80 gallons hot water (either 2/40's or 1/80 per plan)
 - Americast white kitchen sink with white and brass faucet with vegetable sprayer and disposal

APPLIANCES PER ALLOWANCE

- Typically, allowance includes:
- GE self-cleaning smooth top range
 - GE "above range" microwave
 - GE "pot scrubber" dishwasher

Hvac System

- Two 12 seer high efficiency heat pumps - on all two story plans
- Meets Duke Power's "Max Home" standards for lowest rate
- Vented exhaust fan in all baths
- R-13 insulation with vapor barrier in all outside walls
- R-19 in floors; R-30 in ceilings

ELECTRICAL

- Wired for typical allowance:
- Paddle fans with separate light switches in all bedrooms plus great room
 - Cable TV plus phone outlet in all rooms
 - Garage door opener plus 2 remotes
 - Smoke detectors as per code
 - Exterior waterproof receptacles; one front & one back
 - 2 floodlights; high rear corners
 - Floodlights over garage doors
 - Pre-wired for alarm system
 - All receptacles per code and conveniently located

ALLOWANCES ON THIS DESIGN

• Appliances:	\$1400.00
• Cabinets:	\$14,200.00
• Light/Fan Fixtures:	\$2600.00
• Mantle/Profile:	\$600.00
• Plumbing Fixtures:	\$3310.00

THE PLANTATION ON PELHAM
 Located on Villa Road, off Pelham Road
 and 2 blocks from Haywood Road

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 www.marchantco.com



"We saved the best view for you!"

On Site # 864.421.0110

The Fairfield

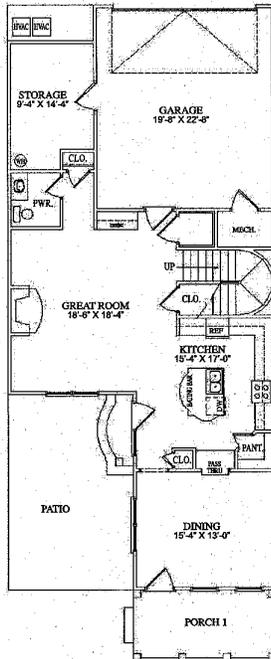
Located on Villa Road, off Pelham Road and 2 blocks from Haywood Road



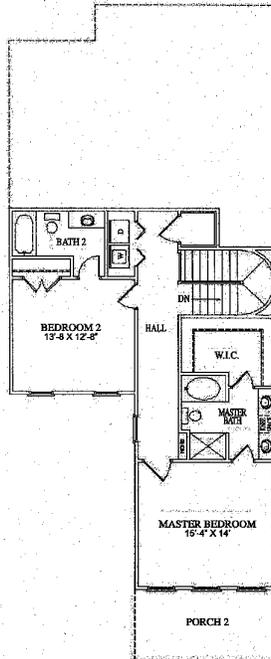
FRONT ELEVATION

Heated Area: 1,986 sq. ft.
 Covered Porch: 128 sq. ft.
 Two-Car Garage: 601 sq. ft.
 and storage
 Total Area: 2,715 sq. ft.

The floorplans, dimensions and square footage calculations shown are only approximations. This is a rendering, and floorplans, dimensions and square footage, as well as all other information presented or depicted regarding the project, including, but not limited to availability, features, elevations and pricing are subject to change without prior notice.



FIRST FLOOR
 Heated area : 1032 sq. ft.



SECOND FLOOR
 Heated area : 954 sq. ft.

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The Hampton

EXTERIOR FEATURES

- Attractive and low maintenance "Hardie Plank" siding is primed plus 2 coats finish paint (Latex)
- Pre-finished seamless aluminum gutters and downspouts
- All downspouts piped away from the house and foundation
- 25 yr. architectural roof shingles
- A variety of entry doors per plan with deadbolts and keyed alike
- Raised panel metal garage doors with automatic openers
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- Generous landscape includes heavily planted front, sodded and irrigated
- Mailboxes on each residence

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- Cabinets: \$16,000.00
- Light/Fan Fixtures: \$3200.00
- Mantle/Profile: \$600.00
- Plumbing Fixtures: \$3350.00

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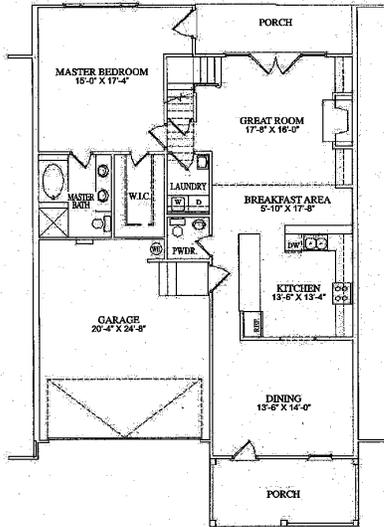
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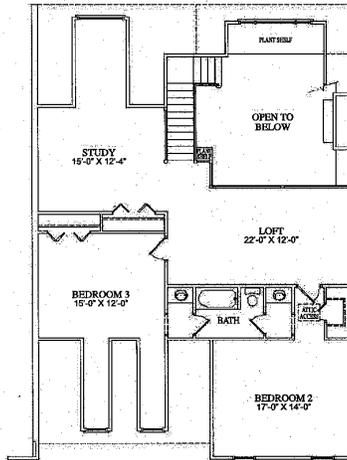
FRONT ELEVATION

Heated Area: 2,790 sq. ft.
 Covered Porch: 256 sq. ft.
 Two-Car Garage: 497 sq. ft.
 and storage
 Total Area: 3,543 sq. ft.

The floorplans, dimensions and square footage calculations shown are only approximations. This is a rendering, and floorplans, dimensions and square footage, as well as all other information presented or depicted regarding the project, including, but not limited to availability, features, elevations and pricing are subject to change without prior notice.



FIRST FLOOR
 Heated area : 1,460 sq. ft.



SECOND FLOOR
 Heated area : 1,330 sq. ft.

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