

HOLLINGSWORTH PARK
—VERDAE—



BRAYDON
RESIDENTIAL DESIGN GUIDELINES

REVISED 7-29-14

 Homes within Hollingsworth Park are to be built according to a minimum standard of Energy Star or a maximum standard of LEED home certification.

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Disclaimer:

The residential design guidelines, plans and features described and depicted herein are based upon current development plans, which are subject to change without notice.

The Hollingsworth Park Architectural Control Committee (HPACC) maintains the right to reproduce these guidelines only for the Braydon at Hollingsworth Park Neighborhood Development project.

Guidelines are supplemental to the Declaration of Covenants, Conditions, Easements and Restriction that homeowners sign during land closing, nothing shown in these Guidelines shall override the Declaration.

Contributors:

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INTRODUCTION

Braydon is a 21-acre walkable neighborhood located within the 300-acre Hollingsworth Park residential community in Greenville, South Carolina.

Hollingsworth Park expresses regional, vernacular styles of architecture and neighborhood planning. The structure of each neighborhood is characteristically modeled after traditional small towns, generally seen as being the most desirable and livable communities in the U.S. where streets co-mingle with landscape elements, public parks, and urban spaces.

Planning principles that delineate the vision for development include parks, recreation features, open space, trails, neighborhood retail and architectural and planning controls that ensure the orderly development of the property.

The Hollingsworth Park community contains a full mix of homes of varying sizes, types, and styles; parks, and recreation facilities – all within a 10-minute walking distance of one another, or about ¼ mile. The plan is intended to reduce suburban sprawl and de-emphasize the automobile both visually and functionally. The street system favors an urban grid, having homes set close to the street's edge. Strong architectural and site design guidelines ensure the consistent application of the aesthetics of older towns. Houses feature traditional materials such as brick, stone and wood. Design elements like picket fences and front porches visually unify the community.

Urban Retail Centers will be linked to Braydon and other Hollingsworth Park neighborhoods by way of pedestrian walks, bike paths and trails.

Hollingsworth Park is a tapestry of unique parts, well-designed and carefully executed. Uniquely, each part responds to a need for intimacy in community life, nurturing both an individual's sense of place and privacy, as well as for group or communal interaction. Each part has a distinct role and function within the fabric, as well as a specific character.

Our purpose is to create an urban-community fabric that reflects a diversity of values, is ecologically respectful, has a harmonious human scale, and is economically sustainable.

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FIG. 1 NEIGHBORHOOD LOCATION MAP

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FIG. 3a Driveway location/ Basement Lot locations

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FIG. 3b TYPICAL CROSS SECTION

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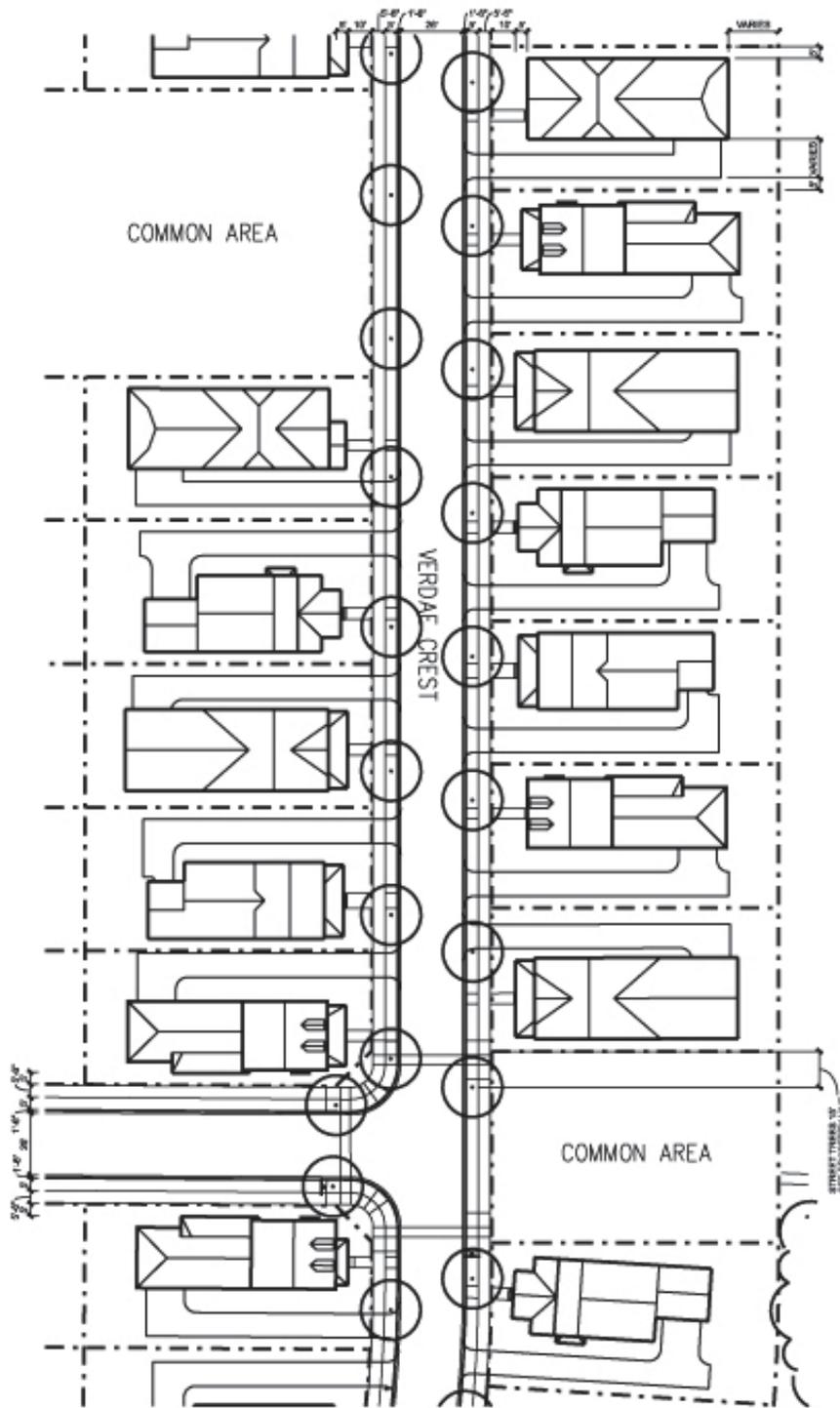


FIG. 3c BLOCK DETAIL PLATS

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COMMUNITY GUIDELINES

In an effort to create a harmonious authentic Greenville, SC neighborhood that “has grown through time”, the following guidelines are developed with the purpose of creating a varied streetscape.

1. STREETScape

The streetscape shall be well-balanced with two-story or one and one-half-story houses. The architectural styles of the homes facing the street shall be harmonious and complimentary to one another. Architectural interest and facade diversity is encouraged by varying architectural components such as stoops, one-story porches and two-story porches from one house to another.

2. STYLE AND MASSING RELATIONSHIPS

- A. An identical house with Main Body massing and matching Key Details can repeat every five (5) lots (inclusive) with the exception that identical houses cannot be located directly across the street from each other on the same block.
- B. A minimum of three (3) full lot separations are required between identical houses located across the street from each other on the same block.
- C. Identical houses with the same massing may occur closer than the restricted four (4) lots if at least two (2) key elements are varied, but in no case shall be closer than three (3) lots.
- D. Street to lot grade access varies.
- E. Key Details Include:
 - Exterior Walls Finish Material
 - Railing Design Type
 - Porch
 - Roof Material
 - Dormers Added or Deleted
 - Shutters
 - Entry
 - Classical Order Style Design (i.e. columns/plinths, pediment, etc.)
 - Windows
 - Add-on or Dependency Structures (such as a dog-run porch, loggia, or a wing or room)

3. LOT AND HOUSE SIZES

Suggested Width of Main Body:

- A. 40' Lots - 26'-30'
- B. 60' Lots - 30'-38'

4. BUILDING SITING CRITERIA

- A. Building Heights
 - 1. Minimum building height is 1 1/2 stories

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2. Maximum height is 2 1/2 stories
3. Minimum floor to ceiling height is 9'-0" on the first floor and 8'-0" on the second floor
4. Maximum floor-to-floor height is 12'-0"

B. Principal Street Elevation

Main Living Floor Level should be between 2'-0" and 3'-0" above crown elevation of principal right-of-way.

C. Alley or Rear Elevation

Garage Floor Level should be at the minimum positive-drainage elevation necessary to achieve positive drainage away from the lot site, and measured from outside edge of garage slab to alley curb in accordance with applicable building codes and proper construction practices.

D. Garage Access and Siting (driveway slope)

Where there is a rear or side accessed garage (Lots 83-96, 33, 34, 48, 49, 1, 28, 14, 15, 38, 61, 29, 62), the outside face of garage wall shall meet the following condition:

1. The outside face of garage wall shall be either 5' or 18' from the **property line, Lots 33, 34, 48, 49, 1, 28, 14, 15, 38, 61, 29 and 62 will be reviewed on a case by case basis**

The intent of this section is for the residents to either be able to park a car in the driveway (18'-0" depth) or not (5'-0" depth). These dimensions can be adjusted on a case by case basis due to the slope of a particular lot.

All other Lots in Braydon will have driveways to access rear or side entry garages.

Garages may have bonus rooms located on a second floor, as further defined in the architectural guidelines. Such spaces are to be utilized by immediate family members and cannot become rental units.

E. Lot Slope Consideration

A brick or stone retaining wall of not higher than two feet (2'-0") is permissible where a Main Living Floor elevation is higher than 3'-0" above Street Level. Such wall(s) shall be constructed and maintained by the property owner(s). The wall brick or stone shall be approved by the HPACC, shall consist of a common bond (fifth course headers), and properly detailed with stone or brick coping. The outside face (public face) of such wall(s) shall be located 12" inside the property line at the required landscape buffer. Lot drainage shall not be affected by the placement of walls.

5. SETBACK CRITERIA

- A. The front yard setback determines the closest distance to the street that the Main Body may be placed. The front yard setback shall be no less than 10' or more than 15'-0" except for lots 83 to 96 which will have a front setback similar to the lots/houses directly across Rocky Slope Road.
- B. The rear yard setback determines the closest distance to the rear property line that the Main Body of the house may be placed. The rear yard setback shall be 10'-0."

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- C. Side wings or rear wings shall be 1 and 1-1/2 stories, and placed a minimum of 2'-0" behind the front façade of the Main Body.
- D. Minimum side yard setbacks shall be 5'-0". The side yard setback requirements for structures may also be impacted by the clear distance separation required to structures or improvements on adjacent lots.
- E. Roof eaves: A 6'-0" separation is required between architectural projections/overhangs measured from the outside of fascia.
- F. The minimum separation between buildings shall be 10'-0". (See Fig. 4 for Critical Setback Criteria.)
- G. For all driveways the minimum setback off of the side property line shall be no less than 1 foot.

6. ADDITIONAL SETBACK CRITERIA

- A. Corner lots shall have continuous screening of private zones for 60% of its length by: an undulating building elevation, wrap-around porch, a garage, fencing, or fencing with landscaping. Long, blank, featureless walls are not permitted.

7. ACCESSORY STRUCTURES

- A. Accessory structures must be appropriately scaled and of the same style materials as the Main House.
- B. Accessory structures may be 5'-0" from the side yard property line and 10'-0" off of the rear property line.
- C. Accessory structures must be independent of the main structure and are (not) considered accessory if joined by a covered walkway.
- D. Accessory structures must be at least 3'-0" from the house measured from vertical wall plane to vertical wall plane.
- E. Garages are not considered accessory structures.

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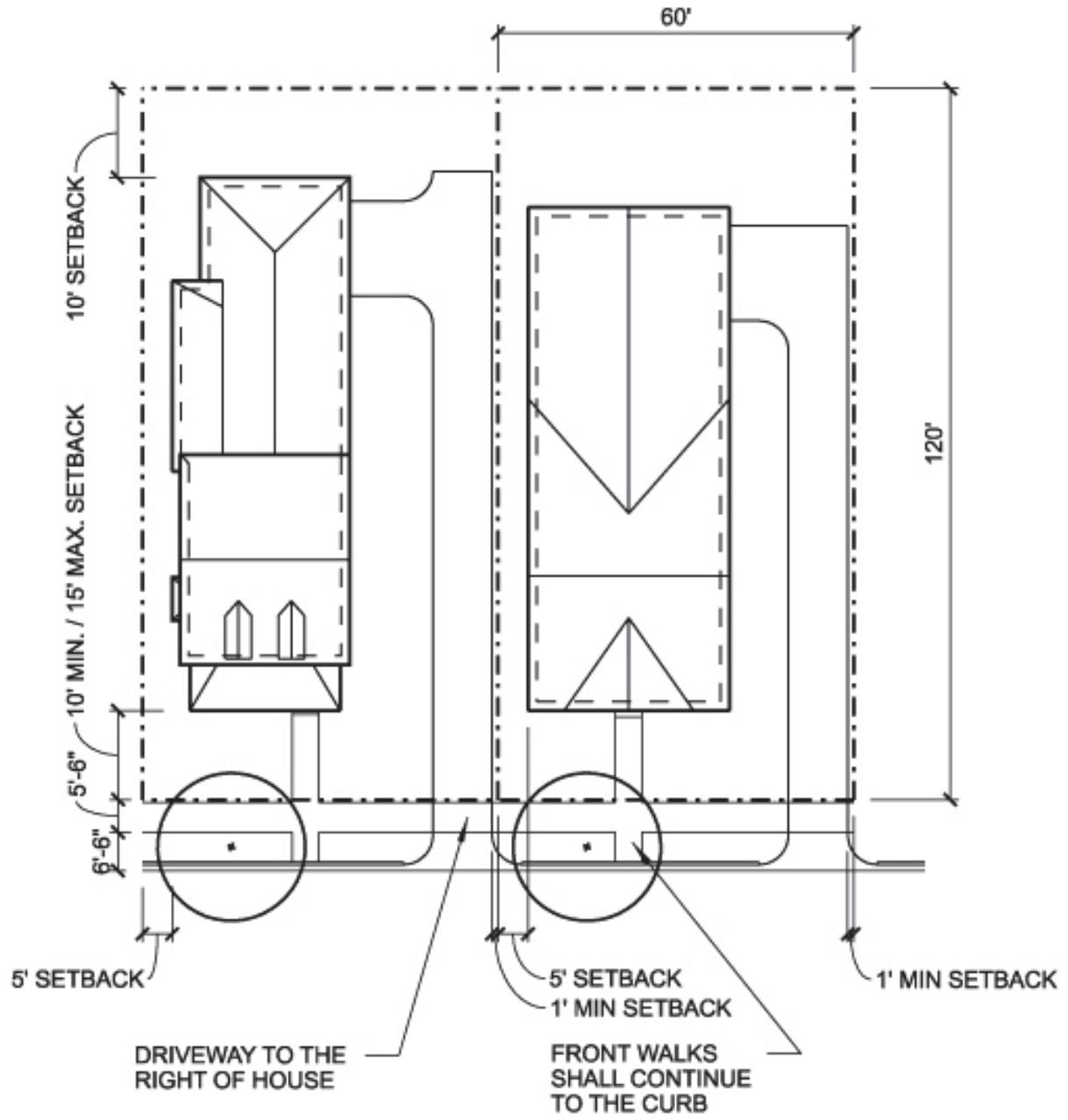


FIG. 4 CRITICAL LOT SETBACK CRITERIA

ARCHITECTURAL GUIDELINES



ARCHITECTURAL GUIDELINES

OBJECTIVE

The Community Guidelines and Architectural Guidelines are the criteria determining all community lot patterns and architectural patterns.

GENERAL ARCHITECTURAL GUIDELINES

1. STYLE AND VOLUME MASSING

- A. The main house and all accessory structures shall be of the same architectural style within any given lot. Mixing of styles within a lot is not permitted.
- B. Add-on Elements to the Main Body of the house, such as bedroom wings, garages, porches, etc. are areas of smaller mass than that of the Main Body and typically have a roof pitch independent from that of the Main Body although consistent with the architectural style of the Main Body. Add-on elements occur in many architectural styles. The Main Body roof line does not run continuously over the add-on forms, nor do their roof pitches ever exceed the pitch of the Main Body.

2. SETBACK ELEMENTS AND SITE ELEMENTS

- A. Bay windows, oriels, or chimneys are not permitted to encroach into front or side-yard setbacks.
- B. All miscellaneous types of equipment, such as condensers, window or other air conditioning units, electrical and other meters, irrigation equipment, satellite dishes, recycle and garbage cans, propane tanks and grills, and play equipment may not be located in a front yard setback, and shall be located in such a way that is not visible from streets or alleys. A hedgerow (suitably large enough to meet the requirements), low fence enclosure or other landscape means of hiding it is required. Site elements and buffer landscaping shall not obstruct proper storm drainage patterns.
- C. Basketball backboards are allowed only in the rear yard, behind house.
- D. Play structures may not be located so as to deprive a neighboring property owner of a primary view, or in some way obstruct a neighboring property resident from reasonable enjoyment of their property.

3. CONSTRUCTION DETAILS AND FINISHES

- A. Architectural details and exterior finish materials used on the Main Body of the house are to be identical in terms of consistency of use and application for all elevations of the building, and consistent with the architectural style.
- B. Materials and/or finishes may change for Add-On Elements; dormer or gable accent elements; or appendages to the Main Body so long as they are consistent with the architectural style.

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- C. Architectural details and exterior finish materials used on the Main Body of the house may be simplified for Add-On Elements on side and rear elevations only. The front street elevation must be consistent with that of the Main Body.
- D. Chimneys and fireplace flue enclosures shall be made of non-combustible materials. Siding materials are not permitted as an exterior finish.
- E. Vinyl or aluminum siding is not permitted.
- F. Moldings such as water tables, stringcourses, quoins, and facings such as brick, stucco, and stone must be contiguous on all elevations on the Main Body and Add-on structures.
- G. Exposed foundation walls must be finished with stone, brick or other material consistent with architectural style.
- H. Exterior cladding and finish materials that change from floor to floor must be detailed so as to be flush with adjacent wall plane either above or below. Thicknesses of surface material must appear consistent and uniform from floor to floor.
- I. Band Boards. Band boards providing a transition and articulating the separation of the foundation and siding should be considered as they are a traditional architectural detail.
- J. Crown Molding shall be used between the frieze board and the soffit at all homes.

4. ROOFS

- A. See the attached house renderings and Figures 7,8,and 9 for design criteria for materials, types, pitches, eaves, decoration, etc.
- B. Proper detailing and dimensioning, and specification of cornices, fascias, dentils or other decoration, overhangs, etc. must occur so as to be consistent with the proper spirit of the architectural style represented is required.

5. ROOF VENTILATION AND ROOF TRIM

- A. All roof vents shall be of the following types:
 - 1. Off-ridge vents when located on rear lot side of ridge or side lot behind front elevation zone
 - 2. Continuous ridge vents
 - 3. Gable end vents
- B. Gable end vents that are not functional must appear to be so.
- C. Perforated aluminum or vinyl soffit vents are not permitted.
- D. Decorative vent designs must be consistent with the architectural style.
- E. Fascias: 2-step (piece) minimum. See Figures 7, 8

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- F. Cornice Returns. Cornice returns shall be required on all homes consistent with the architectural style. At a minimum a Traditional Gable Return shall be required. See Figure 8

6. PORCHES AND BALCONIES

- A. Front porches are to be open. Screened or enclosed front porches are not permitted.
- B. Minimum porch depth and width shall be no less than 6'-6". The maximum porch depth shall not exceed 10'-0".
- C. Balconies require a 4'-0" minimum depth. However, 6'-0 to 7'-0" is preferred.

7. WINDOWS, DOORS, AND OPENINGS

- A. All windows shall be of a type (casement, double hung, etc.), size, proportion, lite-count and arrangement as defined for each architectural style.
- B. All homes must have a minimum of SDL (simulated divided light windows) with exterior Muntins on the elevations fronting a street and side elevations open to a pocket park.
- C. Muntins shall be 5/8" to 7/8" wide
- D. Clear glass or clear low-emissive glass shall be used in all windows and doors. Clear glass shall be standard for all glazed openings visible from a street, public way, or park. Stained glass is allowable in special windows and doors on a case by case basis. Colored, tinted, or reflective glass is not permitted.
- E. Window type and glazing (number of lites) criteria must be met for all architectural styles for each floor of the house. Patterned glass or frosted glass shall be permitted only in areas of the house which are not visible from adjacent streets and alleys.
- F. Window proportions shall be vertically oriented, unless demonstrable historic precedent for another can be established.
- G. Openings, shapes and all fenestration will be consistent with the style, proportion, and scale of the architecture.
- H. Windows in garages must have appropriate window treatment such as blinds, curtains, shutters, etc. to conceal garage contents. Painting the inside face of the glass is not acceptable.

8. SHUTTERS AND WINDOW TREATMENTS

- A. Shutter heights shall be equal to the window sash height, or door frame height for doors. Each flanking shutter shall be one-half the full width of the window or door, so that the shutters can completely cover the window or door when in a closed position.
- B. All shutters shall be installed operable or appear to be operable.

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- C. Louvered shutters must be installed so as to shed water away from the house when shutters are in "closed" position.
- D. Awnings, canopies, other window treatments shall be submitted for review.

9. DORMERS

- A. Real dormers are preferred over dormers for uninhabitable spaces. If the latter is the case, appropriate window treatment such as blinds, curtains, shutters, etc. is required. Painting the inside face of the glass is not acceptable.
- B. Dormer widths are defined by the window width plus the required corner casing.
- C. Dormers are to match the architectural style of the house and to have a minimum 2 step fascia.

10. GARAGE

- A. Doors shall be side or rear facing. If an alley exists (Lots 83-96 and 33, 34, 48 and 49), garages are to be oriented to the alley unless otherwise allowed for in the Community Guidelines.
- B. All garage doors shall have a minimum height of 8'-0".
- C. Garage door windows are discouraged. When used, they must comply with the overall verticality and spacing rules for window proportions.

11. ANCILLARY STRUCTURES

- A. Roof Structures: No antennae, aerials, transmission or reception long-wave or short-wave signals devices, electromagnetic or communication devices, windmills, appliances, attic ventilators, fans, solar collector panels, satellite dish, or other rooftop structures or objects are permitted without prior explicit written approval of the HPACC. In any case, it is recommended that such structures be erected at a rear or otherwise hidden location that will not be visible to the public view or in any way obstruct a neighboring property resident's peaceful enjoyment of their property. Solar panels and piping, if appropriate, will be placed on the rear roof planes only, and blend with the color and character of roofing material.
- B. Other Structures: Similarly, no antennae, aerials, transmission or reception long-wave or short-wave signal devices, electromagnetic or communication devices, or other similar structures or objects are permitted outside on any lot unless otherwise protected and allowed by Federal law.

12. FRONT WALKWAYS

- A. Front walks are the walkways between the main entry doors and the public sidewalks. Finishes and paving materials consistent with the architectural style of the house is encouraged.
- B. Front walks are to be at least 36" inches wide, are oriented perpendicular to the main body of the house and shall intersect the public sidewalk.

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- C. The front walk shall continue straight beyond the sidewalk to the curb. It shall be constructed of the same material as the sidewalk, and be the same width as the public sidewalk.

13. FRONT DRIVEWAYS

- A. The width of the front drive shall not exceed 12'-0".
- B. Gates are not permitted across driveways.
- C. Parallel parking is not permitted in the Front Yard.
- D. Paving materials other than concrete are encouraged in order to soften the edge between drive and landscape.
- E. All front driveways shall be to the right of the house with the exception of Lots 9, 14, 19, 28, 37, 61 and 76. See Exhibit 3a.
- F. The HPACC reserves the right to adjust the driveway placement, without notice, pending unforeseen issues.

14. ALLEY DRIVEWAYS

- A. The width of the alley drive shall not exceed one and one-half times the width of a typical garage door opening.
- B. Parallel parking is not permitted in the Rear Alley Yard.

15. MAILBOXES AND ANCILLARY OBJECTS

- A. The US Postal Service has deemed all residential communities in Hollingsworth Park a Central Mailbox delivery area. Each residence will be assigned a mailbox for US Mail and package delivery.
- B. Trash and equipment enclosures will bear an architectural style and character as that of the houses in the neighborhood.

16. PARKING SPACES

A minimum of one parking space shall be provided for each dwelling unit on a lot. Garages are not required for lot parking. The parking space for a second car may either be provided on the property or street.

17. FENCES AND PERMANENT OUTDOOR STRUCTURES

FENCE refers to any barrier, lattice work, screen, wall, hedge, shrub or living plant material acting as a physical and/or visual barrier. Retaining walls, as described in Section 2 of the Community Guidelines, shall not be considered fences. OUTDOOR STRUCTURES are freestanding from the house and include arbors, fireplaces, outdoor kitchens, fountains, pools, etc.

All proposed rear yard fences and side yard fences must be submitted for approval to the HPACC. All

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applicants/Builders/Owners must demonstrate to the HPACC that the fence conforms to the intent of the Design Guidelines. Front yard fences are not allowed.

- A. Fencing shall not create a hazard to pedestrian or vehicular traffic.
- B. Fencing is an architectural element that may define outdoor spaces, borders, and provide a sense of security and/or privacy. Rear yard fences shall not exceed 6 feet in height.
- C. Styles and design fabrications of fences shall be compatible with the house style.
- D. Fences may be composed of wood, wrought iron, black anodized aluminum, powder-coated tubular steel, brick, decorative iron, stone, and brick with iron or aluminum, stone with iron or aluminum, or living fence material (plants).

Please NOTE:

- 1. Vinyl fencing and chain link fencing are not permitted. Decorative PVC fencing may be allowed but no solid PVC fencing.
- 2. If brick or stone masonry walls are used, they must be finished with appropriate coping stone or other masonry coping treatment, regardless of whether black iron or aluminum fencing is imbedded.
- 3. Wooden or iron fences may be painted - primer plus four (4) coats gloss or semi-gloss enamel. Fence color must be approved by the HPACC.
- 4. Stucco coated concrete block walls are not permitted.

18. LANDSCAPING

The final Plans to be submitted to Hollingsworth Park Architectural Control Committee (HPACC) for approval will include the following:

- A. A landscaping plan for front, side and rear yards adjacent to public sidewalks. Planting plan shall be in accordance with Figures 5a, 5b and 5c. Any fencing or other hardscape elements shall also be submitted for approval.
- B. After the completion of construction of Structures and improvements upon any Lot, any additional landscaping site work desired to be undertaken by the Owner which is not contained within approved Plans must be submitted to the HPACC for approval prior to the commencement of such work.
- C. Verdae Development will be responsible for planting tree(s) in the public space 15' from the left property line at every other lot, if applicable, in accordance with the Tree Planting Plan shown on Fig 6.
- D. All lawns shall be planted with Bermuda grass.

In the event a builder/property owner does not provide a minimum landscaping plan for approval at the time house plans are submitted for approval then the builder/property owner may, by acknowledging the plan will be received 60 days prior to the Certificate of Occupancy, receive a temporary waiver of this requirement upon the posting of a \$2,500 bond or cash deposit with the HPACC prior to receiving any such approval. This bond or cash deposit will be refunded upon the satisfactory completion of the approved landscaping plan. Should an approved landscaping plan not be completed within 60 days prior to the Certificate of Occupancy being issued, the HPACC may direct the installation of an approved plan at builders/property owner's expense and use the above mentioned bond or cash

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deposit for such expenses. In the event the actual cost of installing an approved landscape plan exceeds the bond or cash deposit the builder/property owner will be responsible for any additional amount. Liens may be filed and enforced.

19. Paint Colors

A. Paint colors shall be selected by the Homeowners. Color selection, including the body, trim and any accent colors must be submitted during the preliminary architectural review and include the paint manufacturer, color name and number and a color sample from the manufacturer (colors printed from the internet will not be approved). Paint colors shall be reminiscent of the appropriate time period of the architectural styles of homes in Braydon. The HPACC shall approve all colors on a case by case basis.

B. Identical color schemes shall be no closer than 3 lots on the same side of the street or 2 lots when on opposite sides of the street.

20. Lighting

A. Acceptable exterior lighting shall be wall sconces, pendant fixtures and recessed lighting. All fixtures shall be taken from the appropriate time period of the Architectural Style. Flush mounted fixtures are not allowed.

GENERAL MAINTENANCE

Each Owner is responsible for maintaining their Lot in a neat and well-kept manner. The Association shall be responsible for enforcement of maintenance standards throughout the properties and will take such steps as are necessary in order to require Owners adhere to appropriate standards. At a minimum, each Owner shall be responsible for the maintenance of their Lot to a standard and quality of maintenance observed by the Association with respect to its maintenance of the Common Property. Each Owner shall be responsible for the timely removal of diseased or dead growth and the replacement of same subject to reasonable requirements of planting.

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SCHEDULE OF FEES

PRECONSTRUCTION:

Design Review to be paid at closing of lot	\$350*
*If a plan requires more than 3 reviews, each review thereafter will incur an additional fee at the time the 4 th review is submitted of	\$100

IMPROVEMENTS:

All Exterior non-structural including painting and landscaping changes	No Fee
Minimal structural change with a construction cost of <\$10,000	\$50
Structural change with a construction cost > \$10,000	\$200
Appeal of HPACC decision (See page 55)	\$150

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In order to enforce the items listed above, it is necessary to create some type of mechanism to insure compliance. The HPACC will have wide latitude in interpreting the significance of each offense, but may rely on the following penalty structure in the event of an infraction.

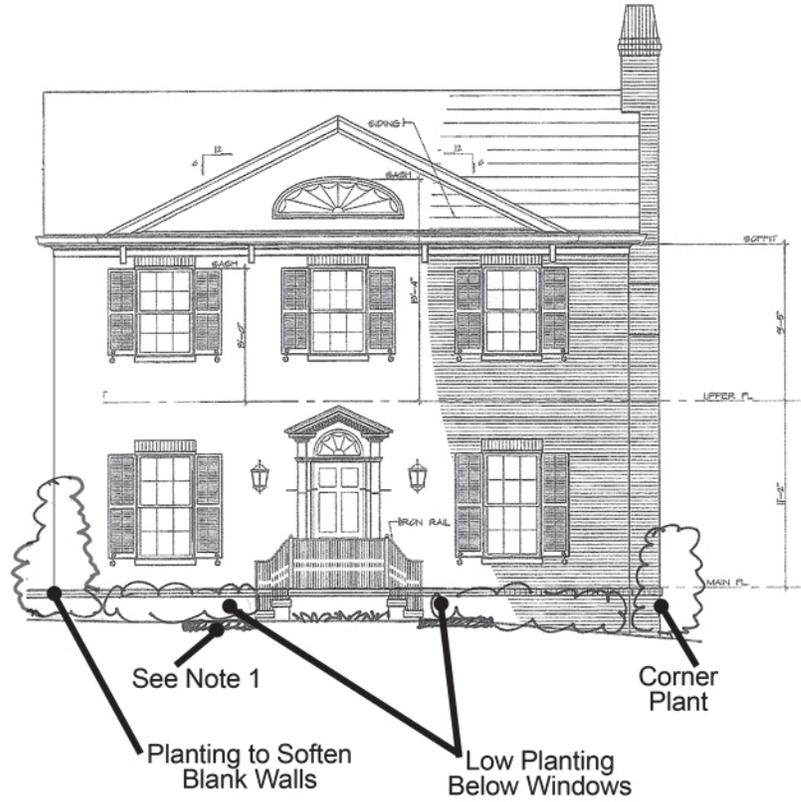
SCHEDULE OF FINES

The following is a schedule of fines, which may be imposed on a daily basis. Fines are legally assessable and collectable. Liens may be filed and enforced. Fine amounts are subject to change at the sole discretion of the HPACC. Fines may be issued at the one-day fee with no warning; reasonable time for correction will then be allowed before daily fines are imposed.

No dumpster	\$ 50.00
Burning	\$ 200.00
Littered Site	\$ 100.00
Inadequate erosion control *	\$ 200.00
Non-compliance in location of temporary sanitation (job toilet)	\$ 200.00
Damage to curb, sidewalks or rights of way	\$ 200.00
Parking on adjacent property without written permission from owner	\$ 200.00
Building materials or equipment on adjacent property without the written permission of owner	\$ 200.00
Non-conforming job sign	\$ 200.00
Damage to trees, vegetation or natural areas	\$ 200.00
Unauthorized removal or destruction of trees	\$ 500.00
Unauthorized plan change	\$ 500.00
Non-compliance with HPACC Guidelines	\$100 to \$ 500.00
Incomplete or Non-complying Landscaping	\$ 200.00

*The HPACC reserves the right to direct the installation of Erosion Control measures, including silt fence, at building/owner expense, including any and all fines and fees levied by any municipality (city, county or state), if such measures are not properly installed and maintained. For silt fence installation, the cost shall be at least \$200.00 plus \$2.00 per lineal foot of fence installed. Failure to control mud on roadways is grounds for fines as may be determined by the HPACC.

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- Note 1: Concrete walk (or brick, stone, etc.) to tie into ex. sidewalk
- Note 2: Sod or groundcover to be used between shrub plantings and walk where possible
- Note 3: All planted areas to be mulched with 4" double ground hardwood mulch

Standard Lot: FRONT ELEVATION 1"
4

FIG 5a

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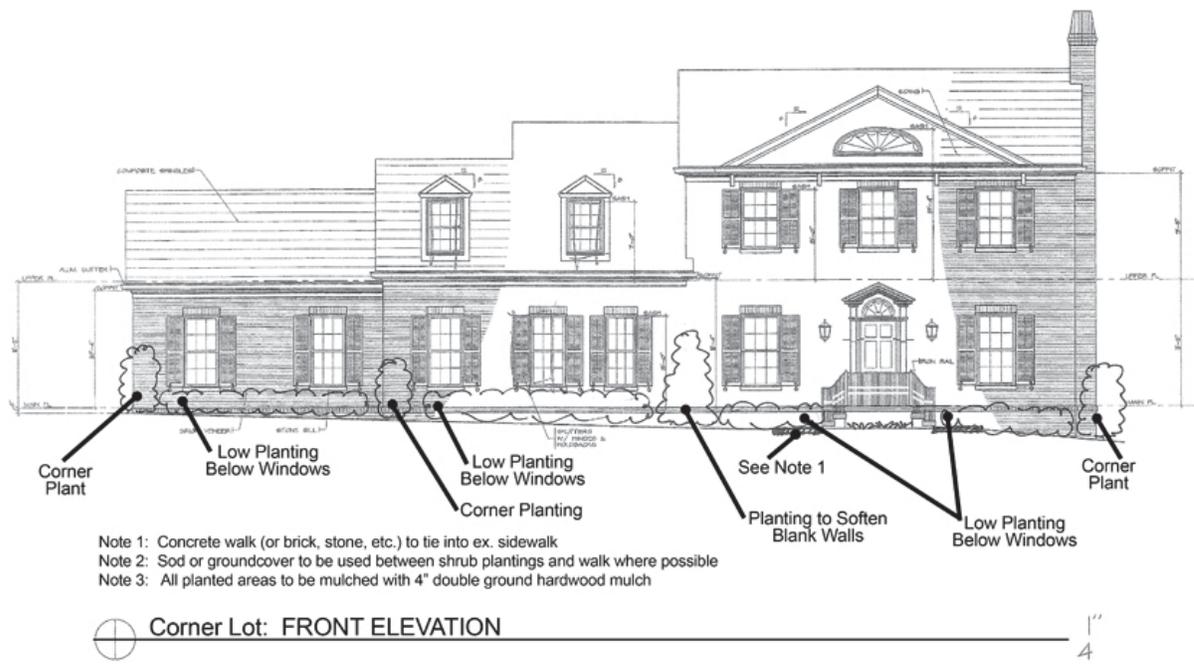


FIG 5b

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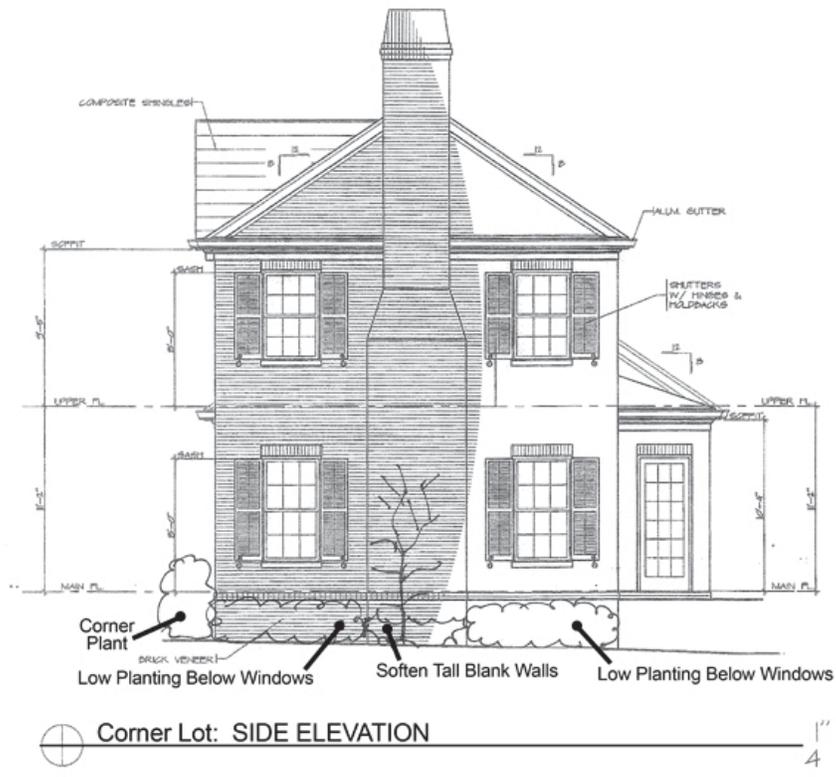


FIG 5c

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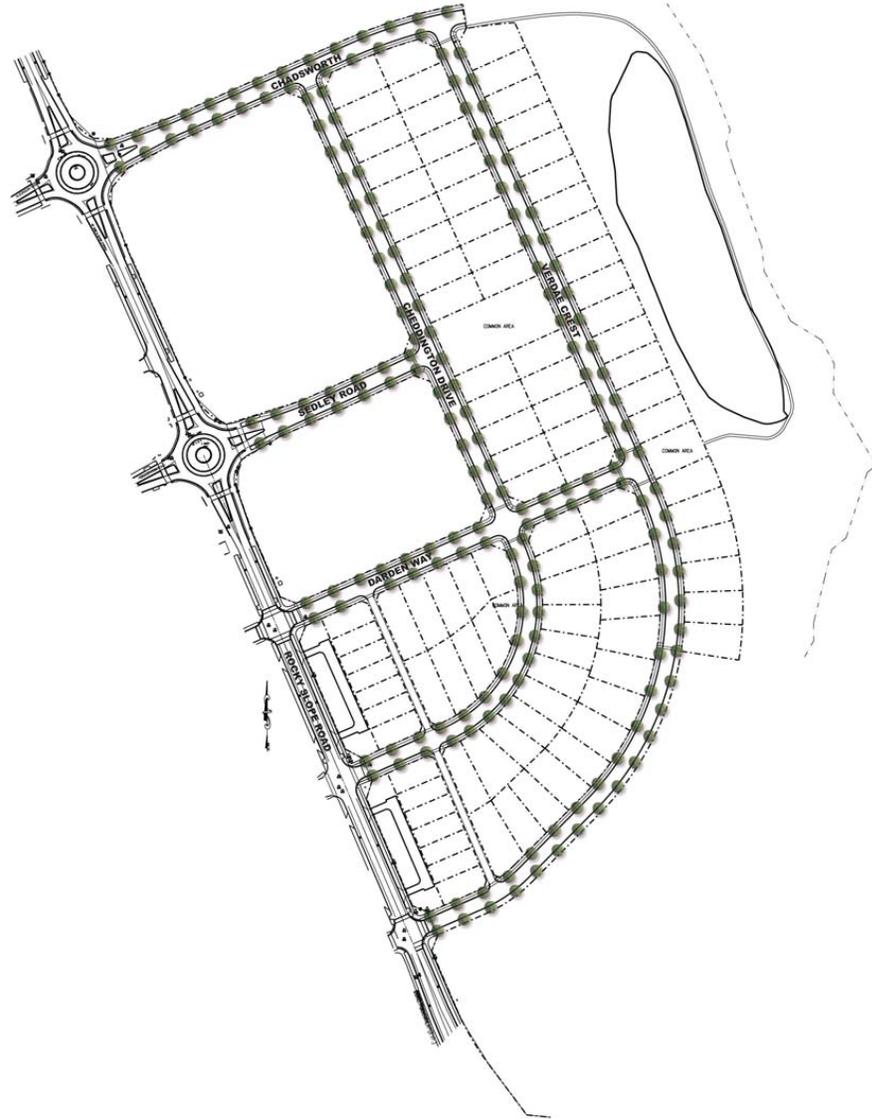


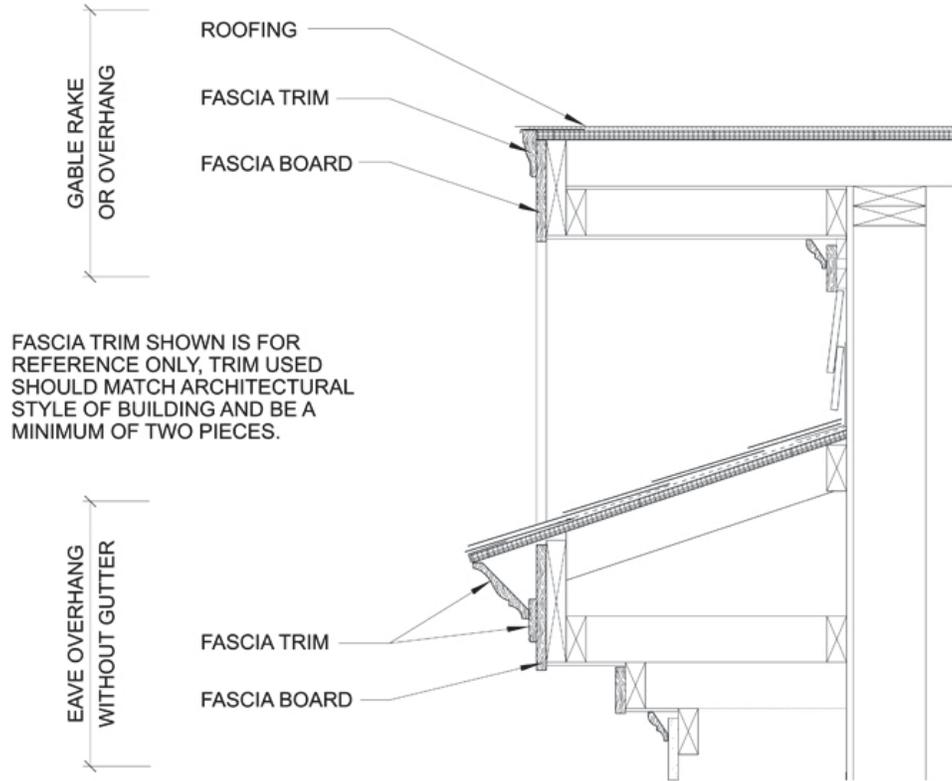
FIG 6
Street Tree Planting Plan

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Two Step (Piece) Fascia Details
FIG 7

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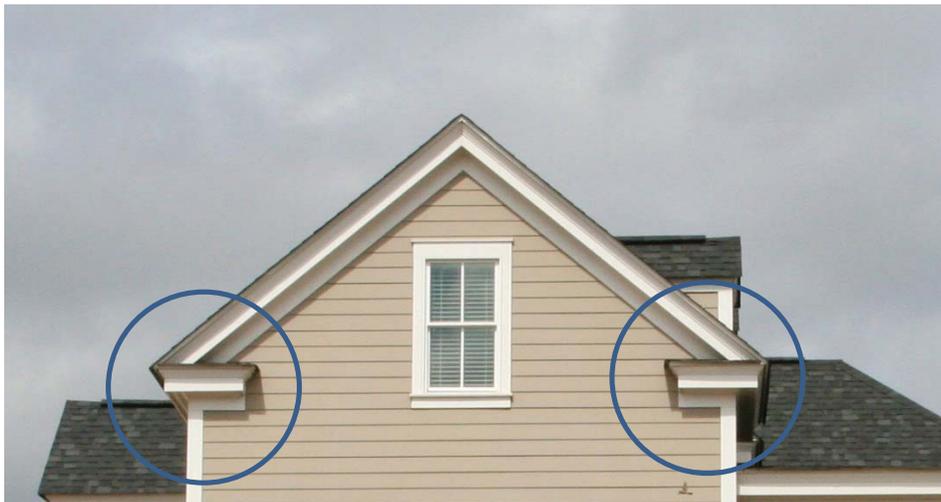
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TYPICAL EAVE / RAKE DETAIL

SCALE: NOT TO SCALE

Two Step (Piece) Fascia Details
FIG 8

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Traditional Gable Return

Cornice returns shall be required on all homes consistent with the Architectural Style. At a minimum a Traditional Gable Return shall be required.

FIG 9

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HOLLINGSWORTH PARK ARCHITECTURAL STYLES



Disclaimer: All homes presented in this document are for general design guides only and do not reflect specific site survey/conditions at Hollingsworth Park. Example shown is a street photographed in Ruskin Square at Hollingsworth Park.

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Braydon at Hollingsworth Park is a walkable neighborhood and is designed to express regional, vernacular styles of architecture with a full mix of homes of varying sizes, types and styles. This section provides images of 15 example homes located within the Ruskin Square at Hollingsworth Park community that exemplify the approved architectural styles for Braydon. The images are provided to show the mix of design styles, they are not intended to be copied but rather used as a reference when designing future homes.

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GEORGIAN

Identifying Features

Paneled front door, usually centered and capped by an elaborate decorative crown (entablature) supported by decorative pilasters (flattened columns); usually with a row of small rectangular panes of glass beneath the crown, either within the door or in a transom just above; cornice usually emphasized by decorative moldings, most commonly with tooth-like dentils; windows with double-hung sashes having many small panes (most commonly nine or twelve panes per sash) separated by thick wooden muntins; windows aligned horizontally and vertically in symmetrical rows, never in adjacent pairs, usually five-ranked on front façade, less commonly three or seven-ranked.

Flemish bond brick is the dominant building material, with elegant patterns of glazed headers, quoins of brick at corners, string courses at floor levels and window arches of bright red brick. Wide eaves carry water away from walls and windows, and watertables to express foundations. Cornices are emphasized by the use of tooth.

Essential Elements

Door enframingent moves forward to express porches.
Use of dormers and decorative quoins- pediment doors/ windows
Belt coursing between floors on masonry
Two story pilasters, center gables and roof balustrades

Materials

Roofs:
Architectural shingles, typically gray or black
Metal Standing Seam

Walls:
Brick Veneer

Columns:
Doric, Tuscan, white

Railings:
Square balusters
Turned balusters
Wrought Iron
Cast stone
Solid Wall

Shutters:
Not typical

Chimney:
Brick only

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FEDERAL

Identifying Features

Semi-circular or elliptical fanlight over front door (with or without sidelights); fanlight often incorporated into more elaborate door surround, which may include a decorative crown or small entry porch; cornice usually emphasized by decorative moldings, most commonly with tooth-like dentils; windows with double hung sashes usually having six panes per sash and separated by thin wooden supports (muntins); windows aligned horizontally and vertically in symmetrical rows, usually five-ranked on front façade, less commonly three-ranked or seven-ranked; windows never in adjacent pairs, although three-part Palladian style windows are common.

Essential Elements

Doors/ Windows symmetrical
Main Body modified w/ wings or curved polygonal projections to rear
Fan light over door
Introduction of Palladian Style windows
Double Hung windows- 6/6

Materials

Roofs:

Architectural shingles, typically gray or black
Metal Standing Seam

Walls:

Brick Veneer
Horizontal siding

Columns:

Doric, Tuscan, white

Railings:

Square balusters
Turned balusters
Wrought Iron
Cast stone
Solid Wall

Shutters:

Paneled and/or louvered with hinges and shutter dogs
Shutters shall be or appear to be operable
Size is one half the width of window sash

Chimney:

Brick only

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GREEK REVIVAL

Identifying Features

Gabled or hipped roof of low pitch; cornice line of main roof and porch roofs emphasized with wide band of trim (this represents the classical entablature and is usually divided into two parts: the frieze above the architrave below); most have porches (either entry or full-width) supported by prominent square or rounded columns, typically of Doric style; front door surrounded by narrow sidelights and a rectangular line of transom lights above, door and lights usually incorporated into more elaborate door surround.

Essential Elements

Lower pitch gable or hip roof
Two part cornice
Doric style columns
Front door w/ rectangular surround
Complex incised decorations
6/6 window panes

Materials

Roofs:

Architectural shingles, typically black
Metal Standing Seam

Walls:

Brick, painted brick
Horizontal siding

Columns:

Doric, Tuscan, Ionic, Corinthian, square and pilasters

Railings:

Square balusters
Turned balusters
Wrought Iron
Cast stone
Solid Wall

Shutters:

Paneled and/or louvered with hinges and shutter dogs
Shutters shall be or appear to be operable
Size is one half the width of window sash

Chimney:

Brick, painted brick

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CLASSIC REVIVAL

Identifying Features

Entry porch (portico) dominating the front façade and normally equaling it in height; porch roof usually supported by four simple columns (Roman Doric or Tuscan types) each with a shallow square base (plinth); the columns support a prominent centered gable; a semi-circular or elliptical fanlight normally occurs above the paneled front door; windows aligned horizontally and vertically in symmetrical rows, usually five-ranked on front façade, less commonly three-ranked or seven-ranked.

Essential Elements

Entry porch dominating front façade and equaling in height
Prominent gable
Fan light over door
Roman influence
Palladian (3 part) plan
Cornice line more narrow/ less detailed than Federal
Upper porches
Symmetrical windows and doors
Arches/ domes

Materials

Roofs:

Architectural shingles, typically black and gray
Metal Standing Seam

Walls:

Brick, painted brick
Horizontal siding
Stone

Columns:

Doric, Tuscan, white

Railings:

Square balusters
Turned balusters
Wrought Iron
Cast stone
Solid Wall

Shutters:

Paneled and/or louvered with hinges and shutter dogs
Shutters shall be or appear to be operable
Size is one half the width of window sash

Chimney:

Brick, painted brick

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SUBMITTALS



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SUBMITTALS

The Hollingsworth Park Architectural Control Committee (HPACC) will review all submittals.

It is the responsibility of the Architect, Designer, and Builder to ensure that all buildings designed for Braydon, or Surrounding Neighborhoods of Hollingsworth Park are true to the traditional architectural character and style consistent with the overall Hollingsworth Park community vision.

The Hollingsworth Park Design Guidelines were developed to assist, not limit, the architectural design of the residential units for this development. The HPACC will endeavor to assist Architects and Builders with review comments and will welcome discussion. No structure or improvement may be made until the approvals described in this document have been obtained. The HPACC represents the Master Developer and acts as liaison between the Builder and the Master Developer.

The HPACC may grant approval, approval with conditions, or deny approval. The decision of the HPACC will be communicated to the property owner within 30 days of submittal. Comments and/or suggestions of the HPACC may be clarified in either writing and/or by returning a set of appropriately marked drawings.

The HPACC does not assume responsibility for the structural integrity or safety features of the building or addition. Compliance with applicable state law, local government ordinances, building codes and/or regulations that is more restrictive than these guidelines shall take precedent. If such state laws, ordinances, codes, or regulations are less restrictive than the guidelines, then the guidelines take precedent.

The HPACC may require the submission of such additional information as may be reasonably necessary to consider any application.

Any incomplete submittal not consistent with the submittal criteria may be rejected without review.

In reviewing each submission, the HPACC may consider any factors it deems relevant, including, without limitation, harmony of external design with surrounding structures and environment. Decisions may be based purely on aesthetic considerations.

Each Owner acknowledges that determinations as to such matters are subjective and opinions may vary as to the desirability and/or attractiveness of particular designs or improvements, but in all cases the decision of the HPACC is final.

Each builder/property owner will be required to provide a \$5,000 bond or cash deposit with the developer prior to starting any construction in Braydon to cover any damage to the roads, curbs, or roundabouts that may be caused as a result of construction traffic. This bond or cash deposit will be refunded upon the satisfactory completion of the home. In the event the actual cost of repairing such damage to the roads, curbs or roundabouts exceeds the bond or cash deposit, the builder/property owner will be responsible for any additional amount. Liens may be filed and enforced.

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REVIEW PROCESS

No structure of any kind or nature or any fence or barrier shall be commenced, erected, placed, moved onto, or permitted to remain on any of the Lots within the Property, nor shall any existing structure, fence or barrier upon any Lots be altered in any way which substantially changes the exterior appearance (which includes but is not limited to changes in paint color and re-roofing) thereof, nor shall there be any additions, attachments, or deletions to improvements, nor shall there be any changes in landscaping, without the written consent of the HPACC; nor shall any new use be commenced on any Lot unless plans and specifications (including a description of a proposed new use) have been submitted to and approved in writing by the HPACC. The Review Process will occur in two steps, a preliminary and a final review. Final Review shall be completed prior to construction beginning.

In the event that approval is denied during the final review process, revised documents would be required and resubmitted for approval.

The HPACC also reserves jurisdiction over all additions, alterations, or changes to any as-built property in Hollingsworth Park. The HPACC assigns professional staff to monitor construction throughout the building process. Although the HPACC does not control distribution of payment to the builder, the HPACC reserves the right to stop construction, should the construction be inconsistent with the approved contract documents. Any and all liability for damages resulting from delays, tradespersons, or any other factor shall be borne by the Builder, who shall hold the Master Developer and the HPACC or their designated assignees harmless. The Builder shall resume work as soon as possible after corrections have been made, and found to be in compliance with the approved Contract Documents. The HPACC is the final design review authority for all buildings, appurtenances, or other structures within the Hollingsworth Park Community.

If any structure, fence, or barrier shall be altered, erected, placed or maintained (including exterior maintenance) upon any Lot or any new use commenced on any Lot, otherwise than in accordance with plans and specifications approved by the HPACC as required herein, such alterations, erection, maintenance, or use shall be deemed to have been undertaken in violation of the restrictions herein and without the approval required herein, and upon written notice from the HPACC any such structure, fence or barrier so altered, erected, placed or maintain upon any Lot in violation hereof shall be removed or altered, and such use shall be terminated so as to extinguish such violation.

If fifteen (15) days after the notice of such violation, the Owner of the Lot upon which such violation exists shall not have taken reasonable steps towards the removal or termination of the same, the HPACC shall have the right through its agents and employees to enter upon such Lot and to take such steps as may be necessary to extinguish such violation, and no such persons shall be deemed to have committed a trespass or other wrongful act by reason of such entry. The costs thereof shall be binding personal obligation of such Owner as well as a lien upon the Lot in question which may be enforced in the same manner as the lien established in the Covenants.

APPEAL PROCESS

In the event any plans for additions, alterations or changes to any as-built property in Hollingsworth Park are declined as part of the preliminary review process the applicant may elect to resubmit the request for reconsideration ("Appeal") under the following terms and conditions:

- An Appeal must demonstrate that there is a material difference in the scope of the project that warrants reconsideration by the HPACC.
- The applicant must include in the submittal a review fee of \$150
- The applicant will be limited to one Appeal per project submitted
- The Appeal must be in writing with supporting graphic documentation.

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REQUIREMENTS FOR SUBMITTAL

Builders or Designers must prepare a package including 2 sets of drawings on 24"x36" sheets and a PDF version of the plans and specifications, along with the published review fee for each submittal to Sandra Bridwell, sbridwell@verdae.com :

Hollingsworth Park Architectural Control Committee
c/o Verdae Development, Inc.
3 Legacy Square Road, Suite A
Greenville, SC 29607
Phone: (864) 329-9292
Fax: (864) 329-9883

New Construction:

Applies to a structural or site modification where no previous structure or site modification has occurred.

Preliminary Review Submittal:

1. Site Plan including:
 - Lot Number(s)
 - Lot Lines with Dimensions
 - Building Footprints
 - Drives, Parking, Walks, Fences and Pools
 - Preliminary Grading Plan (necessary due to the slopes within the development)
2. Floor Plan(s), all levels.
3. All Building Elevations including:
 - Openings, Doors and Windows
 - Principal Materials Specified
 - Building Height Measured to the Underside of the Eave or Cornice

Main Review Submittal:

1. Site Plan including:
 - Lot Numbers
 - Building Footprint Including Roof Plan (dashed) with Overhangs
 - Roadways and Driveways
 - Sidewalks and Walkways
 - Hardscape Elements
 - Drainage Plans
 - Finished Floor Elevations
 - Lot Lines with Dimensions and Total Lot Area
 - Porch, Stoop, or Portico Dimensions
 - Mechanical Equipment and Service Areas
 - All Required and Applicable Setbacks
 - Water Feature Design (if desired)
 - Outdoor Fireplaces and Kitchen
 - Garden Structures Contemplated (gazebo, trellis, pergola, etc.)
 - Fencing (where required)
 - Final Grading Plan

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2. Landscape Plan including: *
 - Specific Location, Type, and Size of All Plant Material and Mulching
 - Driveway(s)
 - Walkway(s)
 - Street Tree Location(s) and Size
 - Easement
 - Drainage
 - External Lighting
3. Floor Plan(s), all levels including:
 - Windows and Doors with Swings Shown
 - Overhangs (dashed)
 - Overall Dimensions
 - Area Calculations (including A/C areas, covered areas, and garage areas)
 - Fences and Mechanical Equipment
 - Applicable Setbacks (2nd, 3rd floors)
4. All Building Elevations including:
 - Openings, Doors and Windows
 - Principal Materials Drawn and Specified
 - Floor Elevations Relative to the Sidewalk Grade
 - Building Height Measured to the Underside of the Eave or Cornice
 - Specified Roof Pitches
 - Corner Lot Side Wall Treatment
 - All Fencing and Walls (including their details)
5. Roof plan(s) including:
 - Specified Roof Pitches
 - Materials
6. Details: Plan details and Section details (Elevations where appropriate) including:
 - Exterior Walls
 - Sills, Jambs, Heads of Windows and Doors (including garage, steps or stairs)
 - Railings with Posts or Newels and Pickets (include spacing)
 - Shutters with Hardware
 - Post, Column, Pilaster, and Pedestal Details
 - Fences and Garden Walls (including materials, coping heights, gates and openings)
 - Corners, Pilasters, Corner Boards, Quoins, Trim, and Headers
 - Brackets and Louvers (including materials and proper dimensions)
 - Chimneys
 - Ornamental Elements and Trim
 - Porches, Balconies, Bay Windows, and Oriels
7. Exterior paint color palette
8. Ancillary structure, appurtenances and all utility service equipment
9. Provide CAD site plan, showing the roof plan, driveway, walkways and landscaping to be incorporated into the overall master plan.

Major Alterations or Additions:

Applies to a structural or site modification taking place after the original construction, which is significant enough to warrant the issuance of a building permit by a governmental authority. Major alterations and additions must comply with design guidelines and be submitted for review in accordance with these guidelines.

Minor Alterations or Additions:

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Applies to structural or site modifications of a relatively insignificant size or scope. Minor alterations and additions must comply with Design Guidelines, and the character of the original house needs to be submitted for review. It is best to describe your minor project to the HPACC before proceeding to ensure that a submittal is not required.

Changes or Resubmitting of Plans:

Applies when a submission for which the HPACC previously granted Final Approval is resubmitted for Final Modifications due to a minor change in the original approved plan, or when a submission previously denied by the HPACC is re-submitted for Final Approval. Changes or resubmitting of plans may require additional fees.

* In the event a builder/property owner does not provide a minimum landscaping plan for approval at the time house plans are submitted for approval then the builder/property owner may, by acknowledging the plan will be received 60 days prior to the Certificate of Occupancy, receive a temporary waiver of this requirement upon the posting of a \$2,500 bond or cash deposit with the HPACC prior to receiving any such approval. This bond or cash deposit will be refunded upon the satisfactory completion of the approved landscaping plan. Should an approved landscaping plan not be completed within 60 days prior to the Certificate of Occupancy being issued, the HPACC may direct the installation of an approved plan at builders/property owner's expense and use the above mentioned bond or cash deposit for such expenses. In the event the actual cost of installing an approved landscape plan exceeds the bond or cash deposit the builder/property owner will be responsible for any additional amount. Liens may be filed and enforced.

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PRELIMINARY SUBMITTAL FORM

Fee: \$350 if not prepaid at closing. It is the builder's responsibility to confirm this payment

Date: _____

Parcel/Lot No: _____

Project Name: _____

Owner: _____

Owner Address: _____

Owner Telephone: (mobile) _____ (office) _____

Owner Email: _____

Builder: _____

Builder Address: _____

Builder Telephone: (mobile) _____ (office) _____

Builder Email: _____

Architect or Designer Contact Name: _____

Description of Project: _____

For Office Use Only:

Check Number: _____

Date Received: _____

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FINAL SUBMITTAL FORM

Date: _____

Parcel/Lot No: _____

Project Name: _____

Owner: _____

Owner Address: _____

Owner Telephone: (mobile) _____ (office) _____

Owner Email: _____

Builder: _____

Builder Address: _____

Builder Telephone: (mobile) _____ (office) _____

Builder Email: _____

Architect or Designer Contact Name: _____

Description of Project: _____

For Office Use Only:

Check Number: _____

Date Received: _____

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RESIDENTIAL CHANGE FORM

Date: _____

Owner: _____

Parcel/ Lot Number: _____

Change Description: _____

Reason for Change: _____

Architect/ Designer: _____

Submitted by: _____

Signature: _____

For Office Use Only:

Check Number: _____

Date Received: _____