



- Community Planning/Development
- Construction Consulting

Case # 0811 Rev

SUBJECT: River Oaks  
Subdivision  
Greer, SC

INSPECTION DATES: March & April 2015

INSPECTORS: C. Michael Craven,  
MCRP, IBC

**FOR PRESENTATION TO  
NHE**

**UPGRADING THE MAINTENANCE EVALUATION  
AND SCHEDULING  
OF CLUBHOUSE, TENNIS COURTS, SWIMMING POOL**



**River Oaks Subdivision  
Greenville, SC**

## **Maintenance Evaluation and Scheduling of River Oaks Clubhouse, Tennis Courts and Swimming Pool**

### **Section I – Introduction, Purpose, Methodology**

At the request of Rebecca Thompson of NHE, the management company of River Oaks, and the Homeowners Association (HOA), this firm is tasked with re-evaluation and updating of a 10-year study (Case # 0811) performed in August 2008. This new study will consider all the work that has been done and what remains to be done, along with additional work presented by the HOA on March 5, 2015. A preliminary review of the first draft of the re-evaluation was conducted with the HOA. Changes were made according to responses (see attachment). The study will be extended to the year 2025. Methodology remains the same as the earlier report.

### **Section II - Present Observations and Updated Repair/replacement and Improvements**

#### **A. Clubhouse**

Exterior was painted in 2013.

Interior was painted in approximately 2008 and still looks good.

HVAC was replaced in 2013; water heater has not been replaced.

Roof and gutters were replaced/repared in 2013.

Pool baths are budgeted and scheduled to be extensively refurbished  
this year.

Front porch columns (6) are deteriorating and need to be replaced.

Entire columns need to be painted.

The HOA representative and management has requested an estimate and schedule for completely upgrading the kitchen (Photo #1) and replacing flooring throughout (Photo #2). It has also been requested that an estimate be made for removal of acoustical ceilings and replacement with sheetrock ceilings (Photo #3). An effort will be made to accommodate these requests based on the types and quality desired by the Association.





Photo # 1 Present Kitchen

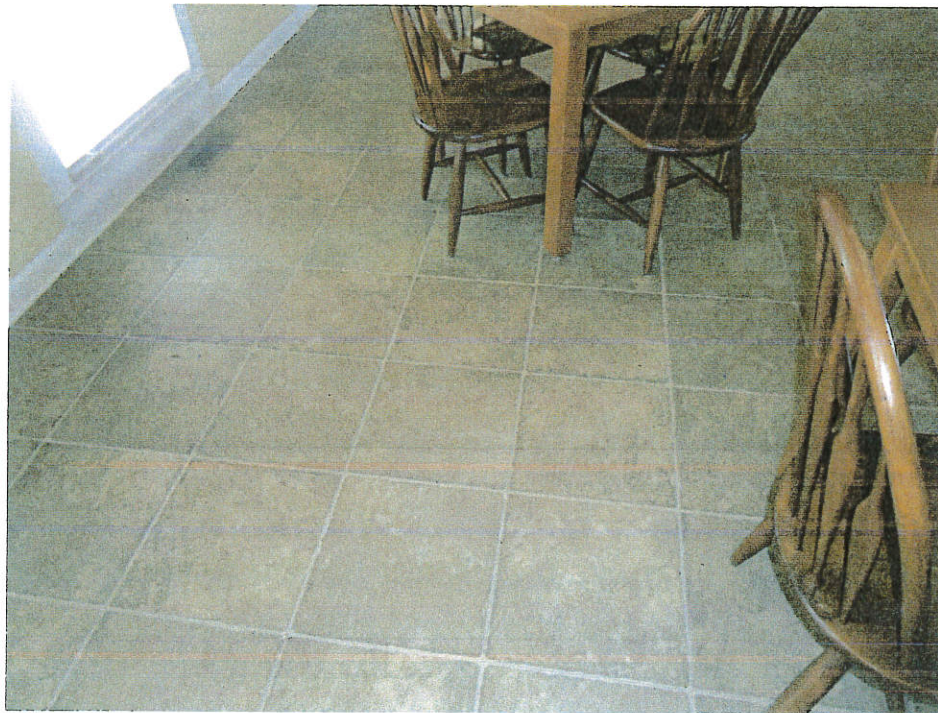


Photo #2 Present Flooring



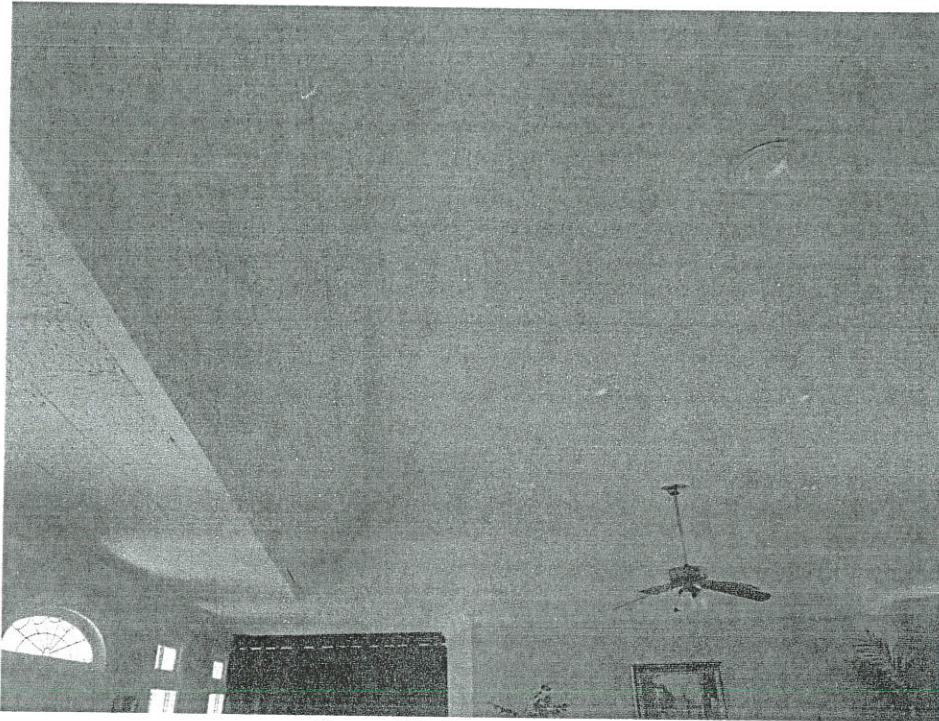


Photo #3 Present ceiling

### Clubhouse Schedule and Allowances

At present the clubhouse area is in very good condition.

Floor does not have a great deal of wear. Countertops and kitchen sink appear like new. The appliances are old but functional. Some may have already been replaced, such as the disposal. Front column bases have started to deteriorate.

Most of the items scheduled are cosmetic in nature.

2016	Replace water heater.	8,00
2017	Repair front columns (6) and paint.	1,800
2018	a. Remove celetex ceilings and replace with ½" drywall. Reuse molding and add new molding at cove ceiling.	4,900
	b. Paint entire interior.	4,000
	c. Remove and replace flooring with new high traffic 18" x 18" vinyl resilient tiles.	<u>7,700</u>
	Total	16,600

2020	Paint entire exterior.	4,000
2021	Renovate, upgrade kitchen.	
	a. Refinish cabinets. Replace countertops and splash blocks with cultured granite.	2,700
	b. Replace refrigerator, stove and oven, exhaust fan, disposal and dishwasher. Install microwave.	3,900
	c. Install LED strip lighting to ceiling (6).	<u>500</u>
	Total	7,100
2022	Replace or re-upholster conversation area.	2,000
2025	Paint interior.	4,250

**B. Clubhouse Deck (Photo #4)**



Photo #4 New deck

Decking has been completely replaced with composite material. There will be no need for replacing or staining. Deck will only require general maintenance/cleaning as suggested by HOA.



### C. Swimming Pool and Pool Bathrooms

Several items from the original schedule have been completed. Pergolas were painted in 2012. Pool deck was sealed in 2013. Fence was painted in 2015.

Pool surface has not been repaired or replaced. Estimates have been received as well as an estimate for building steps.

Pool baths are contracted for major renovation this year. Deck furniture has been repaired/replaced est. 2010.

The pool deck (photos #5 & 6) was supposedly re-sealed in the last few years. However there presently appear to be many serious cracks in the deck's surface.

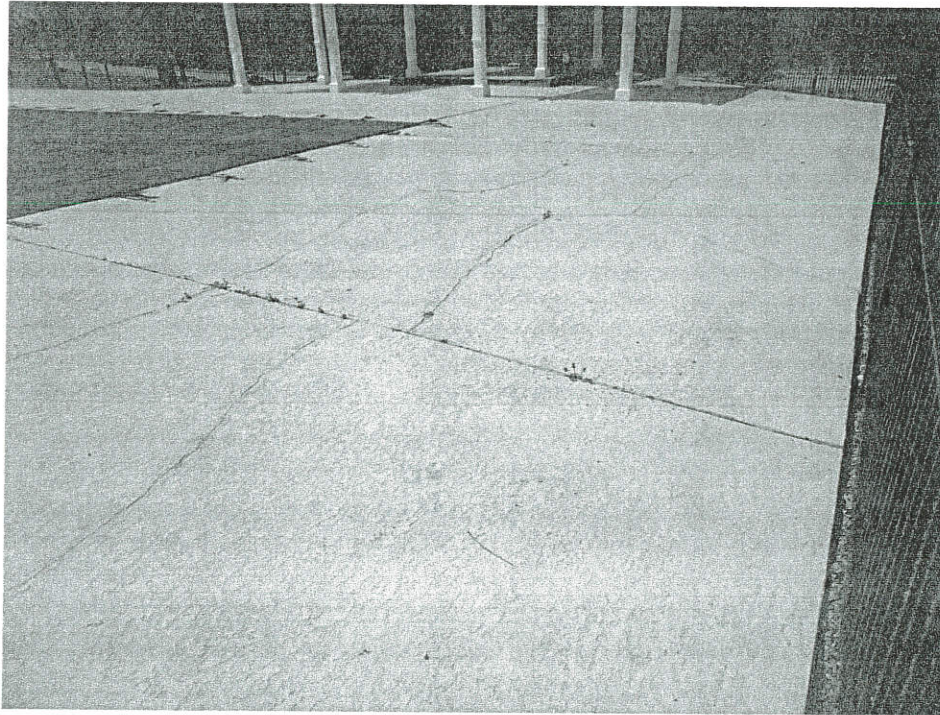


Photo #5 Pool deck condition



Photo #6 Pool deck condition

Not only are these serious tripping hazards, but they can also cause damage to bare feet.

If in fact sealing this deck will last only a few years, it would be prudent to completely replace the entire deck as soon as possible. Bids have already been received on replacing the pool surface. Even though repairing/replacing both the pool and deck at the same time will prove expensive, it would be the best way to approach these problems.

#### **Pool Schedule and Allowances**

2016	a. Replace pool surface with a blue quartz upgrade.	34,000
	b. Install steps.	4,000
	c. Remove and replace the entire pool deck.	35,000
	d. Repair/replace any necessary pumps, filters and motors.	<u>1,600</u>
	Total	74,600
2018	Paint/repair pergolas.	1,100
2020	Install new pool cover.	6,000
2022	Repair/repaint fence.	2,000
2024	Paint/repair pergolas. Replace any necessary pumps, filters and motors.	3,700



**D. Tennis Courts (Photo #7)**



Photo #7 Tennis Court

Courts were re-surfaced in 2012, fence repaired in 2012.

The Association has requested estimates and scheduling of a new light system and backboard (photos # 8 & 9).

Present condition of the court surface appears excellent when compared to 2008.

Please review the responses to the preliminary re-assessment and the responses to this document by this firm (attached).





Photo #8 Present Tennis Court Lights

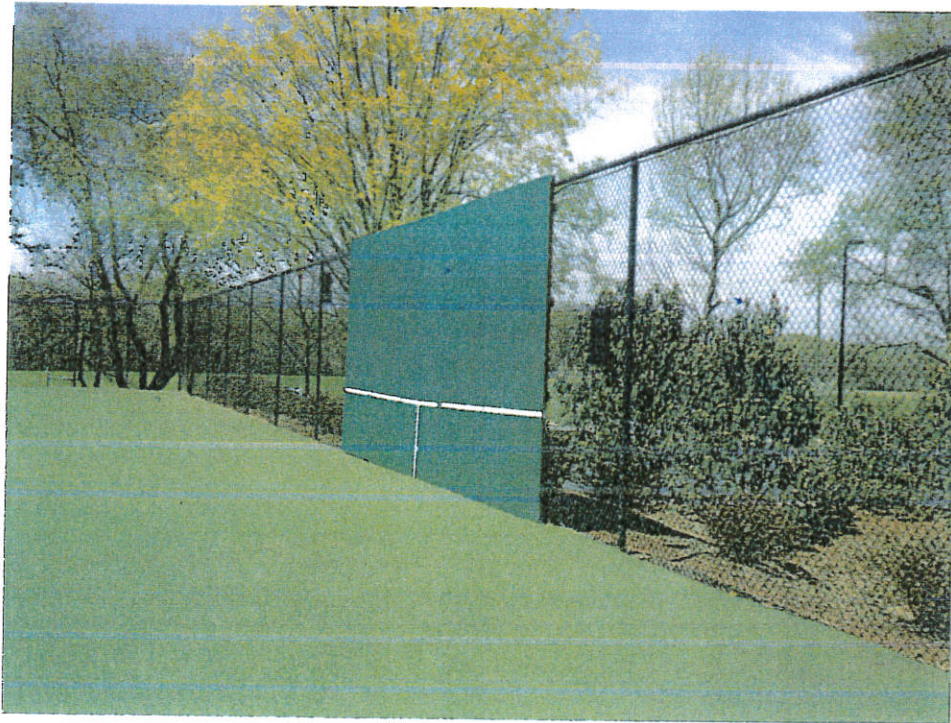


Photo #9 Present Backboard



**Tennis Court Schedule and Allowances**

2017	Replace nets. Spot paint fence.	1,500
2021	a. Re-surface tennis courts; re-line. b. Replace light system with 8 LED fixtures (less Duke Energy rebate)	18,500 <u>11,000</u>
	Total	29,500
2023	Replace nets. Spot paint fence.	1,800
2025	Replace any light fixtures needed. (Years could vary.) Allowance	1,000

**E. Parking Area (Photos # 10, 11 & 12)**

Parking area was re-surfaced in 2008 and is scheduled to be re-surfaced and re-lined in 2015.

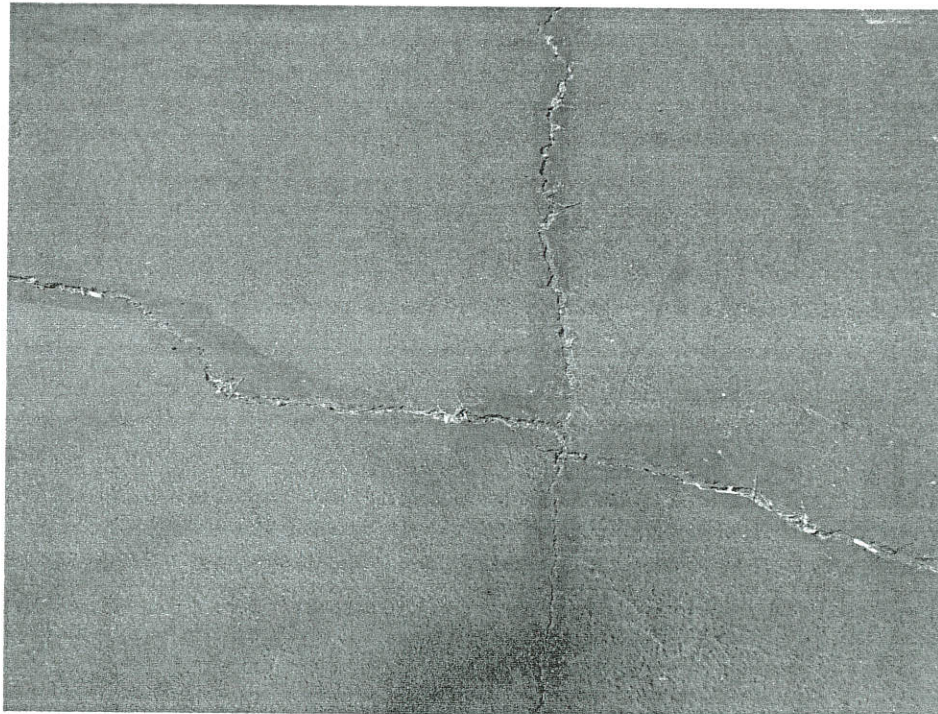


Photo # 10 Parking Area Conditions





Photo # 11 Parking Area Conditions

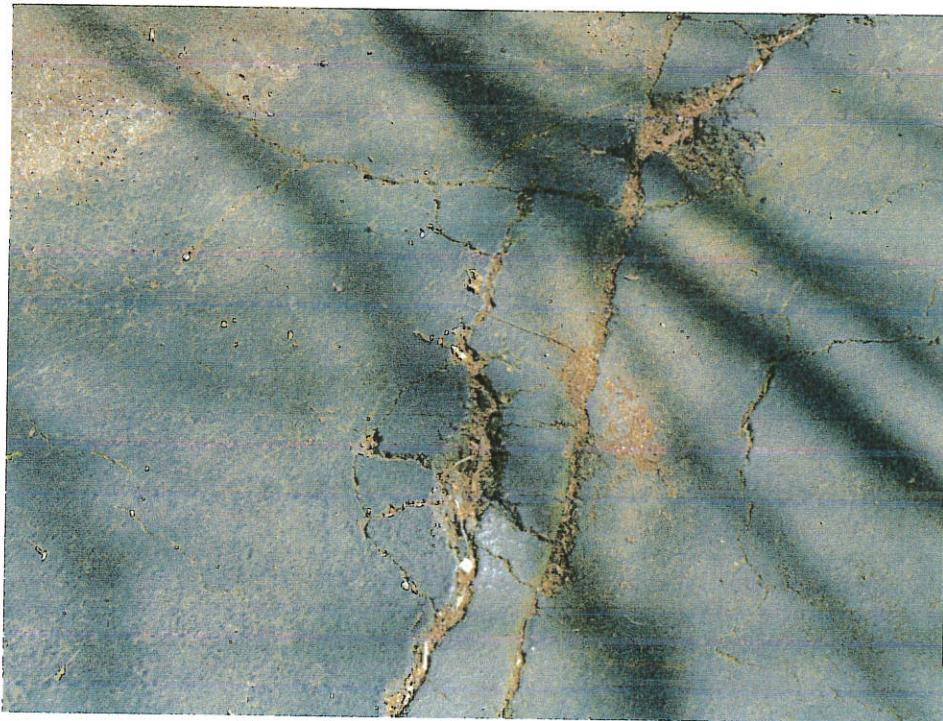


Photo # 12 Parking Area Conditions

**Parking Area Schedule and Allowances**

2021	Repair cracks in concrete walk to clubhouse.	300
2022	Remove intruding tree roots, then re-surface and re-line parking lot. Repair all damaged curbing.	10,200

**Section IV - Yearly General Maintenance and Services**

The above represent repair and replacement items. There are annual maintenance and service items and costs that are not included, such as:

- Administrative expenses
- Yearly grounds maintenance
- Common and usual yearly maintenance not specified in preceding items
- Termite bonds and pest control
- Utilities

When general budgeting occurs, these must be included.

**Maintenance Schedule**

Following is a year-to-year schedule which tabulates the above sections. What is not included is general maintenance and services. As previously stated, this is an approximation. For example, pergolas may need to be painted in 2023 instead of in 2024.



## Re-revised Yearly Expenses Table

Item	2016	2017	2018	2019	2020	2021	2022	2023	2024	2025
A. Club-house	800	1,800	16,600		4,000	7,100	2,000			4,250
B. Deck										
C. Pool	74,600		1,100		6,000		2,000		3,700	
D. Tennis Courts		1,500				29,500		1,800		1,000
E. Parking						300	19,200			
Totals	75,400	3,300	17,700	0	10,000	36,900	14,200	1,800	3,700	5,250

**Estimate over next 10 years = \$168,250.00**  
 or  
**\$16,825 per year**

Revised April 2015  
 Re-revised May 2015

ATTACHMENT

**HOA Comments and Craven & Associates Responses**



## 2015 Reserve Study Update

### Clubhouse

1. Update recommends power washing the composite deck. Spoke with Jerry Johnson who related that power washing the deck was incorrect, will damage the deck, and void the warranty. Manufacturer recommends cleaning with warm water/mild dish detergent solution and a soft bristle brush or broom, then rise with hose. Jerry related he cleans his deck (same material) once/year by this method after pollen season.

Recommendation: Include this in the scope of the janitorial service for the club house once/year, probably in early May and monitor condition.

2. No mention in the update of the deteriorated condition of the porch columns at their bases. Was this evaluated?

### Tennis Courts

The reserve study of 2008 recommended:

Replace nets - 2013, \$800.00

Repaint fence - 2014, \$1000.00

Reconstruct courts - 2017, \$50,000.00

The update recommends net replacement, a re-surface of the courts, and light replacement in 2021. No mention is made of painting the fence or reconstructing the courts.

The nets were not replaced in 2013 as was not needed, but they are now beginning to exhibit some deterioration (one tear was recently repaired).

The fence was not repainted in 2014 as was not needed, but in the past year has begun to flake off on the southeast sections and the gate.

It is doubtful either of these items will wait until 2021 for action.

The major concerns about the updated study report on the tennis courts are:

1. Lack of a recommendation on reconstructing the courts.
2. Schedule presented for re-surfacing (crack repairs, repaint and re-line).

Our resources\* for tennis court maintenance and replacement have been consistent in their recommended schedule for asphalt courts in our climate. These are:

1. Re-surface every 3 to 5 years (average 4 years) dependent upon frequency of use and extent/severity of new cracking, not 9 years as recommended by the update.
2. Reconstruct courts when they reach about 30 years of age, usually when a tremendous amount/severity of cracking is experienced. Our courts were probably constructed in 1986-1987. This is consistent with the 2008 study recommendations.

It should be noted that one of our courts experiences excessive surface wear/damage due to a pecan tree dropping debris. This area requires surface cleaning/repair annually as part of our maintenance program.

Based upon all information, would suggest we anticipate the following schedule:

Continue annual maintenance and surface/equipment evaluation.

2016 to 2017 - replace nets, repaint fence, re-surface courts, estimated total: \$22,000.00.

2021 to 2022 - Evaluate surface condition to determine options of reconstruction or another re-surface.

Replace lighting.

Current estimates to reconstruct the courts are \$65,000 to \$70,000 and replace lighting is estimated at \$10,000 for LED with Duke rebate.

Resurfacing is estimated at \$17,000.00 to 18,000.00 in today's dollars.

2025 to 2026 - Evaluate for resurface or reconstruct, depending upon action taken in 2021.

Backboard:

This is used by about a third of our players, so members may not wish to replace.

Additional:

We should request Craven clarify their reasons for:

1. Power washing the deck.
2. Not mentioning the deterioration of the club house porch columns.
3. Not including the re-construction of the courts or repainting the fence.
4. Allowing 9 years to resurface the courts.

\* AAA Tennis Courts, Howard B. Jones and Sons Inc., Greenville County Parks and Recreation, City of Greer Parks and Recreation, Thornblade Tennis Club.





To: Trisha Melling

Subject: Answering Dave's comments

1. **Power wash decks**

There is a huge difference in power washing and pressure washing. Power washing is a gentle application. A power wash should be no greater than 1500 psi using a fan attachment. If there is any question, please go to Google and look up deck care and cleaning guide by Trex, or google "How to use a power washer on composite decking." No problem, I'll just take deck costs out if it can be done by scheduled maintenance.

2. **Not mentioning the deterioration of the clubhouse porch columns**

*Mea culpa.* I assumed that when the exterior was painted in 2013, these types of items were taken care of. I will add column repair and painting as a line item in 2017.

3. **Tennis courts**

At our meeting in February we discussed budgeting and scheduling. It was agreed that the pool was the priority. The cost of an additional \$50,000+ for re-constructing the tennis court would not be feasible in 2017. The backboard request was presented at this meeting. A careful inspection of the court surfaces revealed that the 3+ year-old re-surfacing was in good condition and the fence was acceptable. I carefully considered all the requests and constraints and decided that pushing back the tennis courts would create a better financial flow. If the Board decides to re-prioritize the tennis courts, it will be done.

I noted that a tennis court repair company stated that courts should be re-surfaced every 3 to 5 years, using public sites and Thornblade as examples. These locations are used much more often than River Oaks. Also, I strongly suggest that if the pecan tree is causing surface damage, it should be removed. I will gladly re-schedule, but suggest re-surfacing every 6 to 9 years depending on observed conditions. I recommend to replace nets, spot paint the fence, and delete the backboard in 2017. Reconstruction was taken out of the mix due to the success of the 3-year-old re-surfacing. If in 2024 – 2025 reconstruction is warranted, then it can be budgeted at the next up-date. Re-surfacing may be needed in 2019 or even sooner, but as stated more than once in my report, if something needs attention, then do it.

I will make adjustments as soon as what needs adjusting is agreed on.